

Council Meeting

Agenda

Tuesday, 22 November 2022

Civic Centre, 15 Anderson Street, Lilydale and via
videoconference

Information for Councillors and the community

ACKNOWLEDGEMENT OF COUNTRY

We respectfully acknowledge the Traditional Owners, the Wurundjeri People, as the Custodians of this land. We also pay respect to all Aboriginal community Elders, past and present, who have resided in the area and have been an integral part of the history of this region.



COUNCIL VISION

Whether you live here or visit, you will see how much we care for country, how inclusive and connected our communities are, and how sustainable balanced growth makes this the best place in the world.

VALUE OF HISTORY

We acknowledge that history shapes our identities, engages us as citizens, creates inclusive communities, is part of our economic well-being, teaches us to think critically and creatively, inspires leaders and is the foundation of our future generations.

COUNCILLOR COMMITMENT

We'll be truthful, represent the community's needs, be positive and responsive and always strive to do better.

OUR COUNCILLORS

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Chandler Ward: David Eastham
Chirnside Ward: Richard Higgins
Lyster Ward: Johanna Skelton
Melba Ward: Sophie Todorov

O'Shannassy Ward: Jim Child
Ryrie Ward: Fiona McAllister
Streeton Ward: Andrew Fullagar
Walling Ward: Len Cox

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Director Communities, Jane Price
Director Corporate Services, Andrew Hilson
Director Recovery, Jane Sinnamon

Director Environment & Infrastructure,
Bill Millard
Director Planning Design & Development,
Kath McClusky

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- submitting a question.
- speaking for up to 5 minutes to a specific item on the agenda. For planning applications and policy issues, the Chair will invite one person to speak on behalf of any objectors and one person to speak on behalf of the applicant. For other matters on the agenda, only one person will be invited to address Council, unless there are opposing views. At the discretion of the Chair, additional speakers may be invited for items of large interest.
- speaking for up to 5 minutes to a petition to be presented at a meeting.

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CONTACT US

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Agenda

- 10.1 Attachments to Planning Application - YR-2022/59 - 272 5 - 249
Maroondah Highway Healesville - Planning Report

Planning Application - YR-2022/59 - 272 Maroondah Highway Healesville - Planning Report – Planning Report

APPLICATION DETAILS	
Site Address	272 Maroondah Highway (Lot 1 PS445694), Healesville and Lot 1 TP 566609J (Council laneway)
Application No.	YR-2022/59
Proposal	Development of two (2) retail premises, use and development for three (3) dwellings, and reduction in carparking requirements
Existing Use	Commercial premises
Applicant	Soft Loud House Architects
Zone	Commercial 1 Zone (C1Z)
Overlays	Heritage Overlay Schedule 428 (HO428) Design and Development Overlay Schedule 12 (DDO12) Bushfire Management Overlay Schedule 1 (BMO1)
Permit triggers	<ul style="list-style-type: none"> • Clause 34.01-1 (Commercial Zone) - permit required for Section 2 Land Use (Dwellings) • Clause 34.01-2 (Commercial Zone) –permit required to construct a building or construct or carry out works associated with a Section 2 use • Clause 43.01-1 (Heritage Overlay – Schedule 428) – Permit required to construct a building or construct works or carry out works (a permit is not required to demolish the building as it is a non-contributory building) • Clause 43.03-2 (Development and Design Overlay Schedule 12) – permit required to construct a building or construct works or carry out works • Clause 44.06-2 (Bushfire Management Overlay) – permit required to construct a building or construct works or carry out works associated with a dwelling/s • Clause 52.06 (Car parking) – permit required for reduction of carparking requirements
Objections	Twelve (12) objections
Encumbrances on Title (Covenants/Section 173 Agreements)	No
Reason for Council Decision	More than 10 objections \$3 million cost of works
Ward	Ryrie

SUMMARY

This application seeks to develop the land at 272 Maroondah Highway Healesville and part of the adjoining Council owned pedestrian laneway for a three storey building for two retail premises at the ground level, three dwellings on the second and third level, and seeks the reduction in carparking requirements of three spaces.

The proposal requires the removal of a non-contributory building currently used as an office to develop the site, however a planning permit is not required for this demolition.

The application seeks building access and installation of an awning along the adjacent Council owned pedestrian laneway. Council's property department are generally supportive of this, however the permit holder will need to enter into a licensing agreement with Council via separate process following planning approval. The licensing agreement will address function, liability, and maintenance responsibilities. Relevant departments in areas of traffic, infrastructure and property have been made aware of this request and raised no concerns. Necessary conditions on permit are recommended to facilitate this request.

No carparking spaces are provided on the lot. The site does share ownership of and access to a rear nine (9) space informal/gravel surfaced carparking area with the property at 274 Maroondah Highway Healesville. Vehicle access to the carparking area is via Symons Street. The application seeks to secure three of the nine carparking spaces for the dwelling occupants. Relevant permit conditions are recommended addressing the carparking physical layout and installation of design elements to achieve this.

The application received twelve (12) objections with concerns related to general misalignment with Heritage and Township development design outcomes, impacts to commercial businesses, traffic impacts, increase to carparking demand and amenity concerns focused on noise impacts, daylight loss, overlooking and overshadowing into adjoining commercially zoned allotments.

The application exhibits strong alignment to objectives and strategies of Healesville Commercial Precinct (Heritage Precinct) and Healesville District (Healesville Structure Plan) in providing all accessible housing and varied commercial uplift within Healesville Town Centre.

The high-quality building design respects and enhances the existing commercial streetscape character and pedestrian function, and demonstrates a positive relationship with adjoining properties, including the Grand Hotel.

The proposal including the building design detailing is an excellent example of delivering on Council's sustainable development strategic direction.

Overall, it is considered that the proposal demonstrates a strong alignment with the relevant policies and provisions of the Yarra Ranges Planning Scheme. It is recommended that a Notice of Decision to Grant a Permit be issued subject to conditions.

RECOMMENDATION

That Council resolve to approve Planning Application YR-2022/59 for Development of Two (2) Retail Premises, Use & Development Three (3) Dwellings and reduction in carparking requirements at 272 Maroondah Highway (Lot 1 PS445694), Healesville and Lot 1 TP 566609J and issue a Notice of Decision to Grant a Permit subject to the conditions in Attachment 1 to the report.

DISCLOSURE OF CONFLICT OF INTEREST

No officers and/or delegates acting on behalf of the Council through the Instrument of Delegation and involved in the preparation and/or authorisation of this report have any general or material conflict of interest as defined within the *Local Government Act 2020*.

CULTURAL HERITAGE SIGNIFICANCE

The application has been checked against the requirements of the *Aboriginal Heritage Act 2006* and *Aboriginal Heritage Regulations 2007 (Vic)* as to the need for a Cultural Heritage Management Plan (CHMP). It has been assessed that a CHMP is not required.

EXTRACTIVE INDUSTRY

The subject site is not located within 500 metres of land on which a work authority has been applied for or granted under the *Mineral Resources (Sustainable Development) Act 1990*.

HUMAN RIGHTS CONSIDERATION

The application has been assessed in accordance with the requirements of the *Planning and Environment Act 1987* (including the Yarra Ranges Planning Scheme), reviewed by the State Government and which complies with the *Victorian Charter of Human Rights and Responsibilities Act 2006*.

ENCUMBRANCES ON TITLE

There are no encumbrances on the Certificate of Title for 272 Maroondah Highway Healesville. There are no encumbrances on the Certificate of Title for Lot 1 TP 566609J, other the easement (E-1) in favour of The Grand Hotel, which is discussed below in the site description section of this report.

SITE LOCATION AND DESCRIPTION

The subject site comprises two separate land parcels. The first is 272 Maroondah Highway Healesville, (Lot 1 PS445694) and the second is the adjoining Council owned pedestrian accessway (laneway) to the west of 272 Maroondah Highway (Lot 1 TP 566609J) (see Figure 1 and Figure 2).



Figure 1 - Site Aerial (Source: Intramaps)



Figure 2 - Site Aerial (Source: Intramaps)

The first and main site for this application is known as 272 Maroondah Highway. The land is approximately 244 square metres in area and is located on the southern side of Maroondah Highway Healesville, central to the Healesville Township's commercial core. Currently occupying this site is a single storey retail building which covers the full site area, with zero setbacks from the property boundaries.

The second site is the Council owned laneway located immediately west of 272 Maroondah Highway. The laneway is 2.88 metres wide and 38.71 in length stretching the full length of the 272 Maroondah Highway side boundary and also along the adjoining allotment to the south. The laneway is actively used as a pedestrian access. Along the western boundary of this lot is a relatively small easement which is 600 millimetres wide and 11.58 metres in length in favour of the property to the east – commonly known as The Grand Hotel.

To the south is a separate 226 square metre land parcel (created when 272 and 3274 Maroondah Highway was subdivided, and referred to as 272-274 Maroondah Highway, Healesville, Lot CM1 PS445694 and in equal shared ownership of both 272 and 274 Maroondah Highway) used for car parking with nine unsealed, unlined carparking spaces. 274 Maroondah Highway, Healesville is also a commercially owned property with a retail use, however is not part of this application. The carpark is setback approximately two metres from the building for drainage purposes. Access to the carpark is either via Symons Street, or the Council owned laneway running along the western side. This becomes a pedestrian only access to/from Maroondah Highway and the carpark. More information about carparking and access is provided in the assessment section. Photos included in Attachment 4 provide context of the site rear and access.

At the front of the site is a large English Elm tree (*Ulmus procera*) located in the road reserve that has a high retention value.

The subject site is well positioned to access commercial and community services within walking distance and access to public transport bus services 684, 686, 687 is approximately 50 metres east in Green Street.

SURROUNDING AREA

The majority of the Healesville Commercial Precinct is covered by a Heritage Overlay (see Figure 3), that is intended to include contributory historic commercial and retail buildings which are concentrated in the core of the Maroondah Highway (Nicholson Street) shopping core. While the precinct includes some non-contributory buildings (including this building), this is generally due to being adjacent to, or between, the buildings of heritage value on Maroondah Highway (Nicholson Street).

The subject site is a non-contributory building, adjacent to a heritage significant building, The Grand Hotel which is the most visibly predominant building along the streetscape with a three storey-built form, sited on a corner allotment interfacing with Maroondah Highway and Green Street.

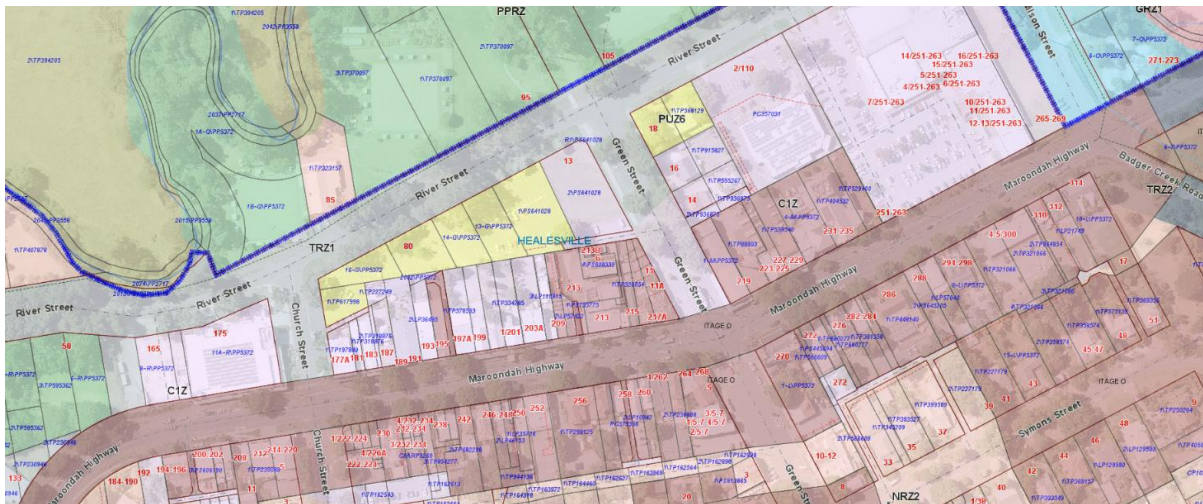


Figure 3 – Lots on immediately adjacent to Maroondah Highway coloured in light brown are covered by Heritage Overlay HO428 (Source: Intramaps)

The Healesville Commercial Precinct demonstrates some of the principal characteristics of an historic rural town main street, including a mix of single and double storey historic commercial buildings, typically with zero setbacks to the street; shopfronts at ground floor level; awnings and verandahs; parapets, and prominent corner buildings including hotels. Rear setbacks on some allotments are predominately used as outdoor dining areas associated with food and drinks premises.

There is a ‘high’ and ‘low’ side in the Maroondah Highway precinct, which is the south side and north side respectively. The high side has steps immediately from the road leading to pedestrian footpath and then into a commercial building.

Notably building styles range between 18th century to post World War II era and there is no obvious consistency in architectural design rhythm on either streetscape side. Instead, the main street is an eclectic collection of buildings with different parapets details, window openings of all shapes, varied verandah styles, flat roofs (for single storey buildings), hipped roofs (for double storey buildings), brick and rendered brick facades and myriad of colours schemes contributing to a varied and vibrant historical main street.

Both sides of the streetscape are lined with English Elms trees making a strong linear cohesive streetscape feature which are protected by an existing Heritage Overlay (HO159), contributing to a precinct of heritage significance.



Figure 4 – Immediate surrounding properties (Source: Intramaps)

The adjoining sites can be described as follows:

The Grand Hotel at 270 Maroondah Highway, Healesville

The Grand Hotel is sited to west of the subject site, buffered by the Council owned pedestrian sealed laneway/walkway. The Grand Hotel is a three storey building constructed boundary to boundary with zero front and side setbacks. Rear outdoor dining area provides for tables, chairs and serving areas. The outdoor dining area is parallel with the rear of the subject site. The Grand Hotel showcases the township's historical past. Sited at the intersection of Maroondah Highway and Green Street, with its distinct dominance expression, the hotel is a symbolic and physical gesture of the township's historic significance and historical window into past time.

The building scale and architectural detailing visually communicates a grander status. The hotel use operates under a *General Liquor Licence* type covering the indoor and outdoor areas, with late time hours of operation, including for rear outdoor dining area. The Hotel is known for its live music events inside. Access to the hotel is via Maroondah Highway, and according to the licenced proprietor, loading/unloading goods occurs from both the front and rear via Council's road network.

274 Maroondah Highway, Healesville

The property to the immediate east is a double storey commercial building, boundary to boundary. Occupying the site is an existing food and drinks premises at the ground floor and an office on the first floor. Patron access for both uses is via the streetscape frontage. The ground floor is fully licenced with 100 patron capacity under Planning Permit YR-2005/656. This site equally shares access to a common informal carparking allotment of nine spaces with the subject site located to the rear (south).

According to the aerial photography and confirmed by a site visit (see site photos attachment 4) the rear carparking area is a mix of vehicle parking and waste bin storage for the property and the subject site

Land to the south

Beyond the common car parking area to the south, are residential zoned properties with dwellings fronting Symons Street with rear secondary access via a carriageway running in the east-west direction, which also provides rear access to Maroondah Highway rear commercial lots.

PROPOSAL

This application seeks to develop the land at 272 Maroondah Highway Healesville and part of the adjoining Council owned pedestrian laneway for a three storey building for two retail premises at the ground level, three dwellings on the second and third level, and seeks the reduction in carparking requirements of three spaces. The portion of the building in the laneway is an awning overhand to provide shelter at the entrances.

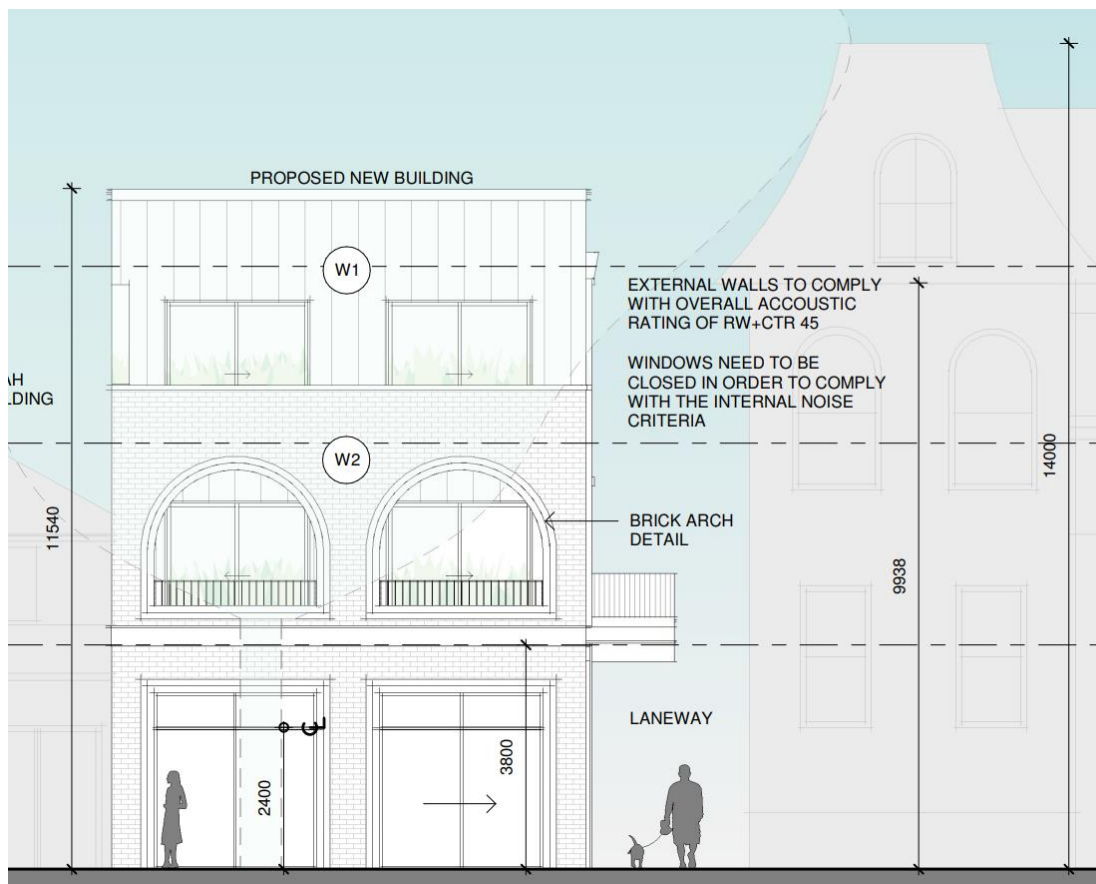


Figure 5 - Facade elevation to Maroondah Highway

The proposal is summarised below:

Building Summary:

Storeys	Three (3) storeys
Setback	Front – Zero
	Side – Zero

	Rear – Zero
Site Coverage	100%
Maximum height of building (measured from Natural Ground Level)	11.54 metres
Car parking Clause 52.06	<p>Full reduction of carparking requirement.</p> <p>Statutory car parking spaces required are:</p> <ul style="list-style-type: none"> • Three (3) car spaces for dwellings land use. • Car spaces for retail premise land use are to Council's satisfaction <p>Land owner has legal ownership on their title to the use of shared commonly owned rear parking (nine spaces)</p>
Bicycle storage	Three bicycle spaces
External materials and finishes	<p>Constructed as a combination of</p> <p>Exterior façade Ground Floor</p> <ul style="list-style-type: none"> • Recycled brick (red) -- All sides <p>Exterior façade First Floor</p> <ul style="list-style-type: none"> • Recycled brick (red) -- North • Recycled brick (red) -- East • Corten (dark brown/red) -South • Corten (dark brown/red) - West <p>Exterior façade Second Floor</p> <ul style="list-style-type: none"> • Corten (dark brown/red) - North • Recycled brick (red) - East • Corten (dark brown/red) - South • Corten (dark brown/red) - West <p>Windows/ flashing</p> <ul style="list-style-type: none"> • Colourbond – Gully Grey • White ash <p>For the purposes of clarity, “Corten” referenced above is a type of metal cladding which has a rusted appearance, and has noise attenuating attributes.</p>
Waste management and services	Rear on-site commercial and residential bin storage area on-site, access via common land.

	<p>Council waste collection is proposed for the residential dwellings, with the retail premises requiring a private collection unless otherwise agreed to by Council's Waste Management Team.</p> <p>General services along western façade, accessed via laneway.</p>
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Development component summary:

Development	
Retail premise 1 (front)*	Size - 92.2 square metres at ground floor level
Retail premises 1 entrance	Entry to retail premise 1 - via Maroondah Highway
Retail premise 2 (rear)*	Size - 52.4 square metres at ground floor level
Retail premises 2 entrance	Retail premise 2 - via the western pedestrian laneway
Dwelling 1	Number of Bedrooms - Two
	Total secluded private open space (balcony) - 17.7 square metres
	Level - First floor level
Dwelling 2	Number of Bedrooms - Two
	Total secluded private open space (balcony) - 25.0 squared metres
	Level - Second floor level
Dwelling 3	Number of Bedrooms - Two
	Total secluded private open spaces (balcony and courtyard)
	- 19.2 square metres (balcony outward facing)
	- 10.6 square metres (courtyard inward facing)
	Level - Spilt over first floor and second floor levels
Dwelling entrance	2.42 metre wide ground floor entrance along the western pedestrian laneway

HISTORY

Application Number and Decision Date	YR-2001/27 - Two (2) lot subdivision of existing shops with rear common property Related to 272 Maroondah Highway and 274 Maroondah Highway.
VCAT History	N/A
Other History	274 Maroondah Highway (adjoining site to the east) shares a common property carparking area with the subject site. In 2005, a Planning Permit was issued for 274 Maroondah Highway <i>External buildings and works, dispensation of car parking requirements and use of land for licensed premises.</i> Council approved a carparking dispensation of 23 spaces for a restaurant venue with a capacity of 100 patrons.

PLANNING CONTROLS

Zoning:	Clause 34.01 – Commercial 1 Zone
Overlay:	Clause 43.01 – Heritage Overlay (Schedule 428) Clause 43.02 – Design and Development Overlay (Schedule 12) Clause 44.06 – Bushfire Management Overlay Schedule 1
Planning Policy:	Clause 11.01-1S - Settlement Clause 11.01-1R - Metropolitan Melbourne Clause 11.02-1S - Activity Centres Clause 13.02 - Bushfire Clause 13.05-1S - Noise Clause 15.01-1S - Urban Design Clause 15.01-2S - Building design Clause 15.01-5S - Neighbourhood Character Clause 15.03-1S - Heritage conservation Clause 16.01 - Housing supply Clause 16.01-2S - Housing affordability Clause 17.01-1S - Diversified economy
Local Planning Policy:	Clause 21.04 – Land use Clause 21.05 – Settlement

	Clause 21.06 – Built form Clause 22.11 – Healesville commercial precinct
Clause 51.03:	Not applicable
Schedule to Clause 51.03:	Not applicable
Particular Provisions	Clause 52.06 – Car Parking Clause 53.02 – Bushfire Planning Clause 53.06 – Live Music Entertainment Venues Clause 58 – Apartment Developments
Other Requirements:	Clause 65 – Decision guidelines

For further information on the planning controls refer to Attachment 2.

PERMIT TRIGGERS

Zoning

- Pursuant to Clause 34.01-1 of the Commercial 1 Zone, a planning permit is required to use the land for the purposes of a dwelling where the ground floor dwelling entrance is more than 2.0 metres wide; and
- Pursuant to Clause 34.01-4 of the Commercial 1 Zone, a planning permit is required to construct a building or construct or carry out works associated with a Section 2 Use.

Overlays

- Under the Heritage Overlay Schedule 428 (HO428), a permit is required to construct a building or construct or carry out works. Pursuant to Clause 43.01 (Heritage Overlay) Incorporated Plan Healesville Commercial Precinct - February 2015, point 5.0 *Planning Permit Exemptions*, a demolition of a non-contributory building is exempted from a planning permit. More discussion about Yarra Ranges Incorporated Plan Healesville Commercial Precinct is provided within the Assessment Section of this report;
- Under the Design and Development Overlay Schedule 12, a permit is required to construct a building or construct or carry out works; and
- Under the Bushfire Management Overlay, a permit is required to construct a building or construct or carry out works for Accommodation (Dwellings).

CONSULTATION

Internal Referrals

This application was referred to various business units or individuals within Council for advice on particular matters. The following is a summary of the relevant advice:

Department	Summary of Response	Conditions required
Traffic Engineer	<p>No objections, subject to conditions.</p> <p>Comment: Pleased with the proposal dedicating three car spaces inclusive to the dwelling land use.</p>	<p>Recommended condition:</p> <ul style="list-style-type: none"> - Re-sealing of laneway. - Sealing of existing carpark (privately owned) - Sealing of existing western laneway (council owned) - New building doors facing the communal carparking to be relocated to swing outwards to the laneway only, allowing more room for communal carparking. <p>Further discussion is provided in the traffic/carparking assessment section.</p>
Drainage Engineer	<p>No objection, subject to standard drainage conditions.</p>	<p>All recommended standard conditions are supported and included.</p> <p>Furthermore, recommended an additional drainage condition to be included requiring drainage of the awning along laneway to be connected to the building's site legal point of discharge.</p>
Strategic/Heritage Advice	<p>No objection and no recommended conditions.</p> <p>Design commentary has been provided. Some notable comments</p> <ul style="list-style-type: none"> • The proposed development is generally consistent with DDO12. • The three storey form is acceptable given its abuttal to a taller building (the Healesville Grand 	<p>No conditions to be included, however the design comments received have been discussed in detail below in this report.</p>

Department	Summary of Response	Conditions required
	<p>Hotel.</p> <ul style="list-style-type: none"> The façade shows a sufficient degree of articulation and presentation to street frontage. The proposed development is generally in accordance with local policy for Healesville Town Centre. 	
Arborist	<p>No objection subject to standard conditions.</p> <p>Comment:</p> <ul style="list-style-type: none"> Supportive of the proposed verandah depth which aligns with the existing circumstances to ensure impact to the front streetscape tree is unchanged 	<p>Recommending standard conditions for street tree protection measures during the construction phase</p>
Waste Management	<p>No objection, subject to conditions.</p> <p>Referral note that the waste management plan report illustrates a bin area slightly larger than the proposed corresponding detail on the Ground Floor Plan.</p>	<p>Recommend:</p> <ul style="list-style-type: none"> Condition for the ground floor plan bin storage area to be amended to match the approved waste management plan. A revised Waste Management Plan submitted and approved post advertising.
Economic Development	<p>No objection.</p> <p>Supportive of this application in the centre of Healesville.</p>	<p>Noted.</p>
Property and Leasing	<p>Raised no immediate concerns, commenting that to facilitate the requested access and works on Council owned land (laneway) a separate Council licensing</p>	<p>Recommended including a condition on permit to impose the requirement to obtain the necessary formal licensing consent</p>

Department	Summary of Response	Conditions required
	agreement process must be followed after a planning permit being issued	and a licensing agreement be entered into prior to any works commencing.

External Referrals

This application was referred to the following statutory referral authority for advice on particular matters. The following is a summary of the relevant advice:

Department	Summary of Response	Conditions required
CFA (Recommending referral authority)	No objections No additional conditions to the standard mandatory conditions in the planning scheme	Mandatory bushfire condition applied as required by the planning scheme.
Head of Department of Transport (VicRoads) (Recommending referral authority)	No objections and no conditions.	No conditions.

Public Notification and Consultation

Notification of the application was undertaken by:

- Placing of two sign/s on the land
- Mailing notices to owners and occupiers of adjoining and/or nearby properties
- Placing the proposal on Council's website for a minimum of 14 days

Number of Objections:

Council received 12 objections to the application and the main concerns include the following

- Neighbourhood character including three storey built form and density;
- Heritage concerns including the demolition of an existing building and lack of response to heritage preservation;
- Car parking issues;
- Common Property usage and entitlement;
- Request for works to take place as part of this planning application;
- Loss of amenity both during construction and post completion;
- Concern for addition of third bar in close proximity to residential area;
- Amenity concerns for the Grand Hotel;

- Amenity concerns for 272 Maroondah Highway;
- Waste management;
- Deliveries to Grand Hotel;
- Continuation of live music at the Grand Hotel and other commercial business impact;
- Protection of street trees;
- Fire Risk requires additional plan to be put in place;
- Documentation inaccuracies throughout submitted documentation; and
- Public Infrastructure Demands are too high

For more information on objections see *Response to Submitters concerns* section of this report.

ASSESSMENT/ KEY ISSUES

Policy State, Regional and Local

The proposal has been assessed against the relevant planning policy provisions, zone and overlay provisions and is consistent with objectives to the Yarra Ranges Planning Scheme.

The Planning Policy Framework (PPF) is outlined in Clauses 10-19 of the Planning Scheme and is required to be taken into account in deciding this application. It contains a range of policies that are expected to be integrated, relevant to the issues to be determined and, where conflicting objectives are identified, these are balanced in favour of net community benefit and sustainable development.

The following planning provisions are relevant to this proposal objectives:

- Settlement - Clause 11.01-1S seeks to promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. Strategies underpinning this objective include to limit urban sprawl and direct growth into existing settlements; promote and capitalise on opportunities for urban renewal and infill redevelopment and develop compact urban areas that are based around existing or planned activity centres to maximise accessibility to facilities and services.
- Metropolitan Melbourne - Clause 11.01-1R seeks to protect the green wedges of Metropolitan Melbourne from inappropriate development. One of the strategies underpinning this objective is to 'consolidate new residential development in existing settlements and in locations where planned services are available and green wedge values are protected'.
- Activity Centres - Clause 11.03-1S seeks to encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community. To this end, one of the strategies underpinning this objective is to 'build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that provides different types of housing, including forms of higher density housing'. Another strategy seeks to

- ‘encourage a diversity of housing types at higher densities in and around activity centres’.
- Bushfire - Clause 13.02 seeks to strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.
 - Noise management – Clause 13.05-1S seeks to minimise the impact on human health from noise exposure for sensitive land uses including residential use through suitable building siting and design (including orientation and internal layout), urban design and land use separation techniques.
 - Urban design - Clause 15.01-1S seeks to create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. One of the strategies underpinning this objective is to ‘ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness’.
 - Building design - Clause 15.01-2S seeks to achieve building design outcomes that contribute positively to the local context and enhance the public realm. Two of the strategies underpinning this objective is to ‘ensure the form, scale, and appearance of development enhances the function and amenity of the public realm’ and incorporate passive sustainable energy performance of buildings through siting and design.
 - Neighbourhood character - Clause 15.01-5S seeks to ‘recognise, support and protect neighbourhood character, cultural identity, and sense of place’.
 - Heritage conservation - Clause 15.03-1S seeks to ensure the conservation of places of heritage significance. Two of the strategies underpinning this objective are to ‘ensure an appropriate setting and context for heritage places is maintained or enhanced’ and ‘encourage appropriate development that respects places with identified heritage values’.
 - Housing supply - Clause 16.01 seeks to facilitate well-located, integrated and diverse housing that meets community needs.
 - Housing affordability - Clause 16.01-2S seeks to meet population growth and create a sustainable city by developing housing and mixed use development opportunities in locations, as listed, but limited to Neighbourhood activity centres and Urban-renewal precincts and sites.
 - Diversified economy - Clause 17.01-1S seeks to strengthen and diversify the economy by protect and strengthen existing and planned employment areas and plan for new employment areas. Facilitate growth in a range of employment sectors, including health, education, retail, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region. Improve access to jobs closer to where people live.
 - Movement Network – Clause 18.02-1S seeks to facilitate an efficient and safe walking network and increase the proportion of trips made by walking

In addition to broader Planning (state) policy objectives, the Municipal Strategic Statement (MSS) at Clause 21 and specific Local Planning Policies at Clause 21

and Clause 22 identify the important local policy objectives to address the challenges faced by Yarra Ranges, in relation to managing future land use and development within the municipality.

The following local provisions are relevant to this proposal objectives:

- Residential - Clause 21.04-1 seeks to promote housing diversity within consolidation areas that have walkable access to shops, public transport and community facilities. Furthermore, incorporate residential opportunities into commercial development.
- Commercial Development - Clause 21.04-2 seeks to promote the future growth and prosperity of the Shire. Consider the inclusion of residential options in commercial development proposals within housing consolidation areas. Further to minimise off-site impacts to the amenity of local communities and satisfy other relevant planning criteria for such activities.
- Settlement - Clause 21.05 seeks to establish sustainable and attractive townships which can support a range of residential, commercial, retail, community and recreational facilities and services. Promote good design and a high-quality level of amenity which helps to define and enhance the individual character of each town.
- Built form - Clause 21.06 seeks creation of a more sustainable urban form that consolidates development in existing town centres, which has environmental and social benefits. It reduces car dependency, makes more efficient use of community infrastructure and adds life and vitality to town centres
- Healesville Commercial Precinct - Clause 22.11 builds on Clause 15.03, Clause 21.06 and Clause 43.01 to protect and conserve cultural heritage by providing specific guidelines for the Healesville Commercial Precinct. Significant and contributory buildings range from 1880s to post World War II.
- Healesville District - Clause 22.12 builds on Clauses 21.04, 21.05, 21.06 and 21.07, addresses objectives on encouraging commercial uses which contribute to a vibrant town centre, built form development to respect its rural town character, encourage full activation of retail frontages on commercially zoned land, provide for a range of household types and abilities which meet the needs of the local population, access maintain connectivity by retaining existing laneways in the Healesville town centre for safe pedestrian access.

In responding to objectives of relevant planning and local planning provisions specific considerations are that:

- The proposed use and development are well-located to complement a range of other localised neighbourhood uses thereby ensuring the use contributes towards the vibrancy of the Activity Centre, adds to the diverse mix of uses in the Activity Centre and sharpens the focus of the Activity Centre as a place for living as well as doing business (Clauses 11.03-1S, 11.03-1R, 16.01-2S 21.04-1 21.04- 2 and 21.05).
- The proposed use and development exhibit as a quintessential example of a consolidated sustainable development comprising a mix-use building supporting a residential offering with pedestrian proximity to well-serviced daily

amenities and varied commercial use sizes, strengthening commercial opportunities and economic resilience within an established settlement area. Adopting high-quality building passive design layout and series of sustainable design measures outlined in by a submitted Sustainable Design Assessment report, the proposal is classified as having sustainability merit in its use and location, as well as construction and function detail (Clauses 11.01-1S, 11.01-1R, 11.03-1S, 15.01-2S, 16.01, 16.01-2S, 17.01-1S, 21.04-1, 21.04-2, 21.05 and 21.06, 22.12).

- The introduction of two-bedroom apartment-style dwellings into the Healesville town centre represents a new, affordable choice in housing tenure reflecting the demographic profile of Healesville. These dwellings seek to provide housing diversity with attractive 'accessible' design for all age groups, including retired and elderly members of the community (Clause 16.01-1S, 16.01-2S and 21.04-1, 22.12).
- The development introduces more local job opportunities close to residential areas and contributes to a robust commercial sector (Clauses 21.04-2 and 17.01-1S).
- The introduction of a residential use into the town centre with balcony level open space and habitable rooms oriented towards Maroondah Highway and Laneway introduces a new layer of passive public surveillance to the centre of town (Clause 15.01-1S).
- The proposed development represents a typical triple-storey commercial building volume cleverly designed as a two-storey emphasis visual appearance. The third storey building form is sufficiently setback from Maroondah Highway to visually be indiscernible from this important streetscape and the central break in the building form ensures adverse visual amenity impacts to adjoining land is minimised (Clauses 15.01-1S, 15.01-2S, 15.01-5S, 21.04-1 and 21.06).
- The proposal maintains commercial floor space at ground level activating two public interfaces with an identified pedestrian access entry to the residential apartments to minimise land use conflict with commercial uses (Clauses 21.04-1 and 21.04-2).
- The proposal not only maintains the existing laneway for pedestrian access links but improves safety pedestrian passive surveillance by its activation. Laneway activation allows the commercial building to showcase a full retail frontage (Clauses 18.02.1S and 22.12).
- The building design and layout, and use of materiality and noise attenuation construction techniques delivers an exceptional level of residential internal amenity enjoyment (Clauses 13.05-1S and 15.01-2S).
- The building is designed to integrate into the heritage streetscape character, respecting building heights and identified heritage values, whilst neatly slotting into the allotted space maintaining built form streetscape rhythm. The building's detailed design expression comprises subtle odes to the township's historical architecture with a contemporary twist (Clauses 15.01-1S, 15.03-1S, 21.04-2, 22.11 and 22.12). There is one identified detail relating the mounding cast around window/doors and arches that is unsatisfactory within a heritage context. Further discussion of this is provided in the detailed heritage assessment of this report.

- The proposed use and development (dwellings) are of sufficiently low bushfire risk given there is a reasonable separation from the nearest bushfire hazard and vegetation, exposure to radiant heat is within acceptable levels. (Clauses 13.02-1S)

HEALESVILLE STRUCTURE PLAN

In addition to the above, the proposal has been assessed and deemed suitably aligned with the endorsed Healesville Structure Plan which is a reference document under Healesville District - Clause 22.22.

Healesville Structure Plan dated 2016 addressed new opportunities of Healesville Township in key areas, as relevant to this proposal:

- built form, heritage and public;
- residential; and
- business / tourism commercial.

The following are the main key areas' objectives/strategies.

Built form, heritage and public

- *Streetscapes and public spaces in the town centre that maintain the rural town character;*
- *Retention of important heritage places;*
- *A revitalisation of the town centre is needed to ensure the public realm is attractive, functional and safe; and*
- *There are opportunities to increase traffic and pedestrian safety.*

Residential

- *The varied housing forms and lot sizes provide a unique character;*
- *There is a need for increased housing diversity and affordability and specialised accommodation;*
- *Encourage new development to be energy efficient; and*
- *Ensure the built environment is accessible to all*

Business & tourism

- *A strong and dynamic town centre;*
- *A diversity of businesses that cater to local residents and tourists;*
- *Ensure new development complements the main street retail shopping strip;*
- *Focus additional commercial activity and development within the existing town centre shopping strip; and*
- *Discourage out of centre retail proposals*

The proposal suitably aligns to the Structure Plan's relevant objectives and strategies having regard the following considerations:

- The proposal is an uplift to the site and existing town centre streetscape, offering a new purpose built mixed commercial and housing development;
- The building design is respectful to the heritage and rural township character, adopting a contemporary and simple design-built form and style that signals the passive approach to the revitalisation of this town centre;
- The existing building is not an important identified heritage building, nor a contributory building;
- The proposal focuses attention to encouraging pedestrian activity and walking movement safety links;
- The proposal contributes to all-accessible alternative housing type and mixed housing size offering within an established urban setting;
- The building adopts numerous sustainability design energy practices; and
- The proposal provides additional commercial activities within the existing towns centre supporting a dynamic and resilient town centre that is stronger with its local and tourism economy.

Overall, the proposal is consistent with the relevant planning policy and is worthy of support.

Commercial 1 Zone

The purpose of the Commercial 1 Zone acknowledges the role a diverse mix of uses can play in catalysing investment attraction, business growth, residential expansion and, as a result, increasingly higher levels of amenity and vibrance for those who live, work and invest in an Activity Centre.

The proposed use is considered to satisfy the purpose and decision guidelines of the Commercial 1 Zone and is considered appropriate.

The proposal activates two of its ground floor interfaces with two different sized commercial tenancies which could be interchangeable for a variety of retail, business, entertainment and community uses. The activation of the laneway increases attractiveness for pedestrians and cyclists' movement within and around the commercial area, and improves safety through active use and surveillance of the area.

The proposal introduces a residential use component across two upper floors that is proportional and complementary in the role and scale of the commercial centre.

The building is a typical design with contemporary features which expresses both visual cohesion and discernible differences between commercial and residential uses. There are different verandah styles to aid two side public entries, introduction of subtle waves/curves to soften straight edges and integrated balconies within the building envelope. There is sufficient detailing across the built form facades and depth of materiality for additional visual interests.

Waste management is appropriately managed with an integrated storage area to the building's rear and a proposed mixed collection service. Depending on the type of commercial uses, a council collection or private collection is assigned. A council

collection would be along the Maroondah Highway frontage. Residential four waste stream Council collection will be serviced via Symons Street.

Existing surrounding land uses are non-residential in nature and are largely complementary of the proposed residential apartments, notwithstanding that any residential use of land must accept a lower standard of residential amenity (interruptions from noise, light, traffic etc) in a Commercial 1 Zone.

The building orientation and layout provides a good level of solar access to both commercial and residential areas, albeit the rear retail premise is limited in this respect which may benefit a particular type of commercial offering.

The subject land is also suitably connected to or has the ability to connect to all utility services including electricity, gas, telecommunications, sewerage and water supply.

Heritage

The purpose of the Heritage Overlay acknowledges the role a diverse mix of uses can play in catalysing investment attraction, business growth, residential expansion and, as a result, increasingly higher levels of amenity and vibrance for those who live, work and invest in an Activity Centre.



Figure 6 - Clause 43.01 Incorporated Plan Healesville Commercial Precinct (Healesville Heritage Project (Lovell Chen 2015))

Figure 6 details the location of significant, contributory and non-contributory listed buildings in the main street of Healesville. The subject site contains a building with non-contributory value. No planning permit is required to demolish a non-contributory building. As such non-contributory commercial buildings in the precinct provide an opportunity to demolish and construct a development which responds to evolving commercial expectations and market demand.

To better understand the heritage assessment of non-contributory buildings, the Incorporated Plan for the Healesville Commercial Precinct (February 2015) (See Attachment 11) and Clause 22.11-1 Healesville Commercial precinct states:

'Non-contributory' buildings include recent infill development, including post-WWII development of little or no architectural merit or heritage character; earlier buildings which have been significantly modified and where the alterations have diminished the heritage value and character; and some recent 'faux' Victorian style shop buildings. These properties are included in the precinct due to their particular location, which may be sensitive in terms of future precinct management and conservation.

To better understand the significance of the Healesville Commercial Precinct, the following is the extracted Statement of Significance.

Healesville Commercial Precinct is focused on the Healesville 'main street' shopping centre, which is linear in form and borders the east-west running Nicholson Street (Maroondah Highway). The street is sited on a terraced hillside that slopes down from south to north where it borders the flats of the Watts River, giving the street 'high' (south) and 'low' (north) sides. The wide intersection of Green and Nicholson streets is at the centre of the precinct, and is dominated by the Grand Hotel. Dates of construction for graded heritage buildings range from the late 1880s through to the post-WWII period, a wide date range which is not uncommon in rural centres where development can occur over a long period. Generally, two-storey buildings are on the 'high' south side of the street, advantageously sited to afford views to the Watts River corridor, over the roofs of the typically single-storey buildings on the north side of the street. The majority of buildings within the precinct are of brick, with many over-painted, and some with combinations of brickwork and roughcast/render finishes; there are also timber buildings. Mature street trees along Nicholson Street are subject to an existing Heritage Overlay (HO159).

The precinct demonstrates some of the principal characteristics of an historic rural town main street, including a mix of single and double storey historic commercial buildings, typically with zero setbacks to the street; shopfronts at ground floor level; awnings and verandahs; parapets; and prominent corner buildings including hotels. Healesville Commercial Precinct is also of local social significance as a much valued commercial/retail shopping area in the town, which has retained its historical commercial focus, emphasising its importance to the Healesville community.

A heritage assessment rests upon Clause 15.03 - Building Environment and Heritage objectives, Clause 22.11-3 - Healesville Commercial Precinct and the Heritage Overlay decision guidelines. Relevant key design guidelines are as follows, with a subsequent assessment response.

Clause 22.11-3 Policy

- *Maintain the prominence of the significant and contributory buildings in the precinct;*
- *Ensure development integrates with surrounding heritage buildings and streetscape;*

- *Encourage new development that enhances the character and appearance of the heritage precinct and adopts a contemporary interpretation of traditional forms;*
- *Ensure new development does not dominate the heritage precinct; and*
- *Maintain the architectural integrity and character of significant and contributory building.*

Heritage Overlay (Clause 43.01)

- *Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy;*
- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place;*
- *Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy; and*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.*

To examine and achieve an appropriate outcome to these policy objectives it is imperative to highlight the commonly regarded design principles for infill building development in a heritage precinct.

The building needs to be individually distinctive, exhibit high degree of design excellence and contribute to the cohesiveness of the area. The building should sensitively address the critical issues of setbacks, height, form, massing, proportional composition of façade detailing and materials/colours/finishes. The façades have a level of neutral unassuming expression. Façades to be typically simple, with little embellishment, accompanied by basic front and side setbacks, and roof shape, and the building height either consistent or complementary to the streetscape and adjoining properties. Mock-production or mimic designs should be avoided. Overall, the building should not detract from those buildings and places landmarked as culturally significant heritage buildings. Streetscape built form rhythm also must be upheld.

By upholding those design principles, a new infill development would demonstrate no adverse effect to the natural or cultural significance of Heritage Place, maintain architectural integrity and character of significant and contributory building and achieve a sound design outcome to ensuring a contemporary designed development integrates to the streetscape with a complementary and enhancing expression.

The proposal achieves high level of design excellence with its contemporary design approach, detailing, consistent front and side setbacks and flat roof shape form and an appropriate building height.

More specifically:

Building form, scale and height

The proposed building form and scale is representative of a typical commercial building with no direct sensitive interfaces. The building adopts zero front and side setbacks consistent with the existing streetscape built form rhythm. The introduction of a third storey is largely an anomaly against the predominate single and double

storey-built forms along both sides of the streetscape. However the cleverly designed third storey (Figure 7) recedes in both built form setback and appearance back from the second level, to conceal the third level, making it virtually undetectable from a pedestrian scale frontage and oblique angles (Figure 8). There is also an integrated enclosed second level balcony, use of matching materials and colours from ground floor up to the third floor balustrade and a strong pedestrian scale ground floor streetscape and laneway activation.

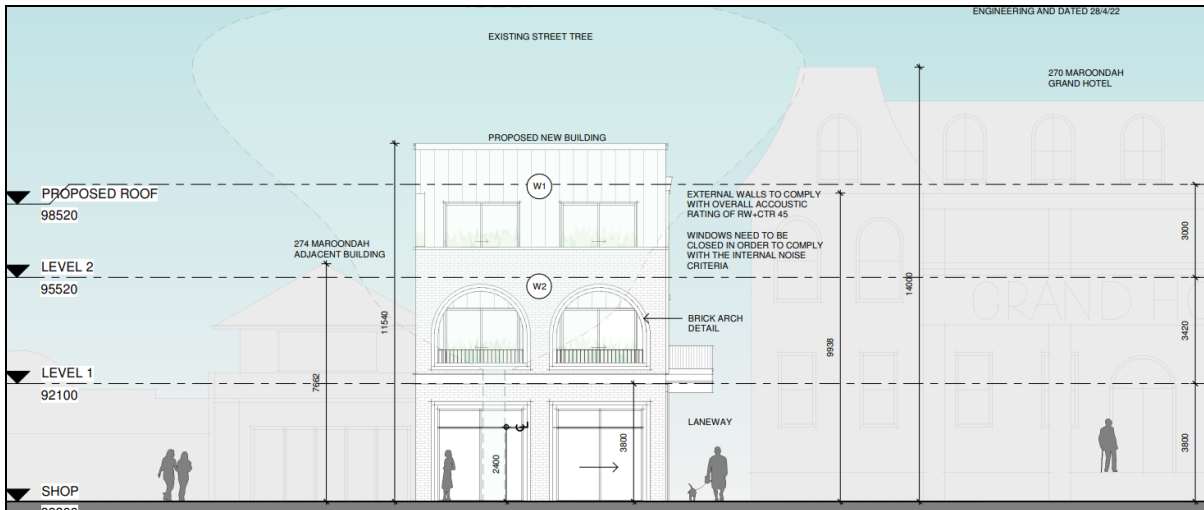


Figure 7 - Streetscape elevation

Through the centre of the building when viewed from the side elevation, a two-storey level clear visual break on both sides is imposed, serving as an open-air lightwell for the residential component (Figure 8). Splitting the built form into half reduces visual scale and massing across the site. Quite purposefully, the building break strategically matches with the existing eastern adjoining's own building break. This is a respectful consideration to the surrounding context and a strong design attribute.

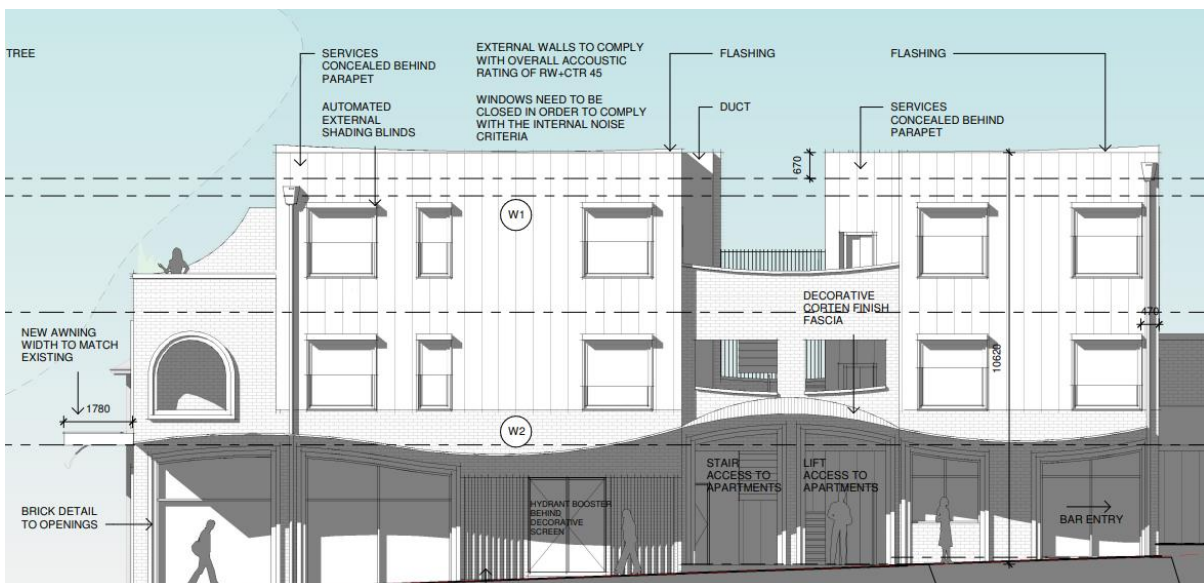


Figure 8 - West elevation showing the open-air light through the centre of the building

The built form is simple, fits neatly within its allotted property boundary and is respectfully typical within a commercial surround.

The building height is greater compared to the buildings to the east however, is notably lower than the Grand Hotel building to the immediate west, despite both buildings being three-storey.

Notwithstanding the subject site is located on the southern 'high side' of the Maroondah Highway streetscape, the proposed varied building height transition across the high side streetscape is considered acceptable for two reasons:

- Firstly, the streetscape building height rhythm remains intact, with the subject site located at the far end of street block, adjacent to a building of a greater height. The proposed building height result has a visually pleasing cascade effect along the streetscape ; and
- Secondly, the proposed building height is lower than The Grand Hotel building and as a result the development will not detract from The Grand Hotel's heritage predominance and height.

Ultimately, the proposed building achieves a secondary tiered status to the adjacent Grand Hotel.

Detailing

Façade design detailing achieves individual distinctive characteristics. Activated along two public interfaces, the façade design seeks to create a primary and secondary interface, with a primary status secured along Maroondah Highway (see Figure 7 and Figure 8 on previous page).

The primary façade is fitted with well-proportioned symmetrical placed window openings on all levels and an attractive almost fully facade floor to ceiling glazing for the commercial level encouraging active views in and out to the public realm. Window and doors are simple rectangular shapes.

One element of concern is the combination of arched opening and decorative stepped cast mouldings surrounding all openings on both public interfaces (north and west) (See Figure 9).

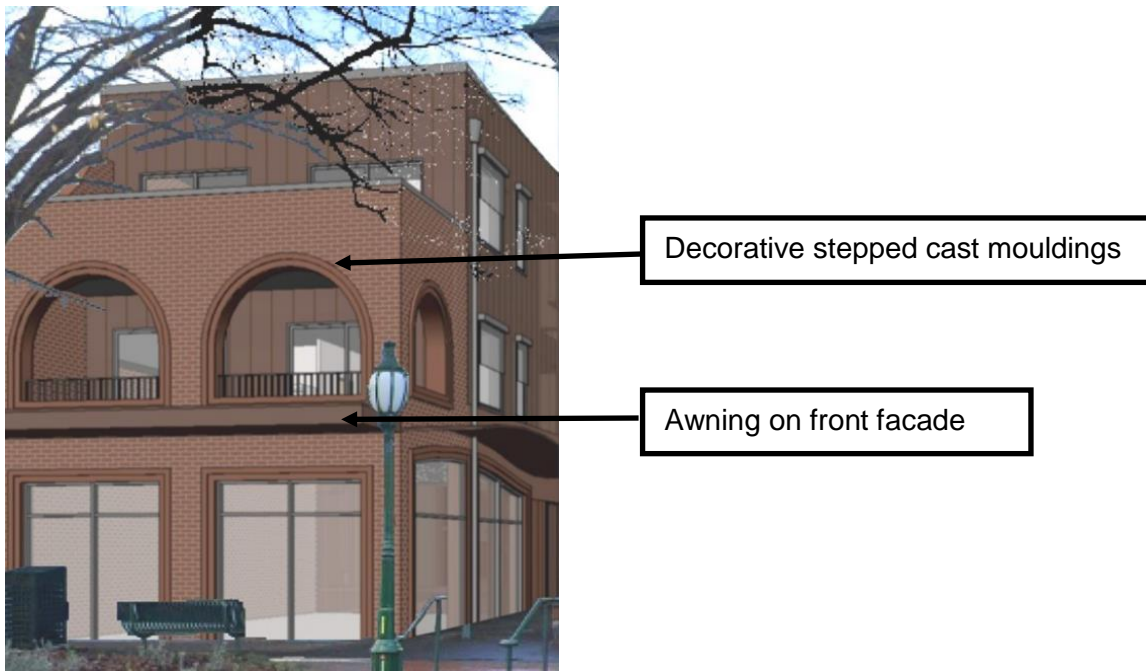


Figure 9 - Artist impression showing the arched openings and awning

When these details are combined, it arguably exhibits a historical mock-reproduction mimicking detailing, carried over or inspired from The Grand Hotel. This design response uncomfortably detracts from the heritage and architectural integrity of The Grand Hotel, which displays the same features. The combination details should be avoided and a more contemporary clean lined cast mould over both openings is a preferred design direction, whilst the arches can remain. The applicant has been made aware of this concern. To secure this simplified contemporary detail, condition 1c of the recommended permit conditions requires the plans to be amended to show clean lined simplification of external windows, doors and arches moulding casts.

The front awning (see Figure 9) with a depth of 1.78 metres is consistent with existing streetscape awnings, in both depth and height, and will offer the public function of casual weather protection at the entrances. The awning is straight/flat and elongated across the full front façade width that visually grounds the building at a pedestrian scale and separates the building between commercial and residential use functions.

The heritage listed street tree opposite the front awning was assessed by Council's Arborist, who advised that there is unlikely to be no additional tree impact as the protrusion is not exceeding the existing conditions.

The introduction of a second awning of 1.40 metres in depth, along the full length of secondary interface with the laneway, provides a necessary detail feature to signal commercial activity, illustrate a sense of residential address and provide weather protection. The awning style is wavy/curvy characteristic; a deviation from the front awning style, but nonetheless, still forms part of a cohesive design response style to add contemporary curves as a distinctive building individual characteristic. Freedom to introduce an interesting feature like this should be supported if there are no visual interruption or inconsistency by such feature along its respective streetscape. In this case the laneway is its own entity with no streetscape reference.

Notably the second awning width should not encroach the prescribed easement (E-1) of 0.6 metres wide along the laneway as outlined above in the site description section

of this report. A condition to delineate these details on the plans is recommended to form part of any permit granted.

Materials, colour and finishes

The material, colours and finishes schedule, and application of, around the building is well-thought out to achieve a muted and complementary schedule, that not only picks up the dominant material (brick) and colours (red and brown) in the area, but applies a contemporary colour tone that serves to ensure the building ages well. Applying brick as the dominant material along the north (front) and east side is a conscious decision to contribute to the building's integration to the streetscape and comply with fire rated wall construction building requirements.

Using brick material across the front the third-floor brick balustrade that blends with the lower floor façade acts as a contemporary feature signalling an ode to a parapet architectural character feature commonly identified in heritage streetscapes. This is a respectful an integrative design measure.

Introduction of Corten board along the third level frontage and all floors to the western and southern sides are satisfactory and contemporary in appearance with its visual lightweight properties. The material is excellent choice for noise attenuation needs and contributes well to the overall design aesthetic.

Overall, the proposal will not adversely affect the natural or cultural significance of the heritage precinct inserting a modern sympathetic addition to the streetscape, that respectfully and compatibly contributes positively to the existing building pattern and enhances the heritage architectural integrity and character. The proposed building design fit-for-propose with its own simply distinctive characteristics that ensures the Healesville main street continues to showcase harmoniously a variety of the building architectural styles from different eras.

The proposal upholds the statement of the heritage citation and meets objectives contained in Clause 15.03 Building Environment and Heritage, Clause 22.11-3 Healesville Commercial Precinct and the Heritage Overlay.

Design and Development Overlay – Schedule 12

This overlay covers the town centres of Healesville, Monbulk, Seville, Warburton, Yarra Glen, and Yarra Junction. The overlay seeks to ensure the following relevant design principles are met:

- *New development should reinforce the pattern of existing development in the town centre with mostly narrow fronted shops and strongly articulated facades;*
- *Building heights should not exceed two storeys (7.5 metres). A third level may be permitted where the overall height of the building will match that of an adjacent building or where it is set back so as not to be easily discernible from the opposite side of the street;*
- *The facades of new development on corner lots should be detailed to provide visual interest from both streets;*
- *Verandahs should be provided on the street frontage of buildings to provide continuous weather protection;*

- *Building facades should be articulated by incorporating a variety of materials, textures and colours that enhance the particular qualities of buildings in the town centre;*
- *Contemporary design that complements the scale and detail of existing buildings in the town centre is preferred; and*
- *All roof-mounted mechanical equipment should be concealed by screens that are designed as an integral part of the building.*

The proposal comfortably meets all relevant design principles, with the building form and orientation reinforcing the existing pattern of development.

A total building height of 11.5 metres over three storeys is proposed and is considered appropriate in this context. The first two storeys equate to 7.22 metres in building height. The third level is setback approximately 3.70 metres from front boundary and the façade is wrapped with rusted steel cladding (Corten), by contrast to the rest of the front façade constructed in brick, a heavier looking material. Visually discernible, the third storey is minimised by an excellent emphasis on two storey visual and physical appearance aided by appropriate details and setbacks. The rhythm of building heights in the streetscape remains intact and there would be now a softer height transition along streetscape cascading downward in a west to east direction.

The subject site is a corner allotment and seeks to activate both public frontages with commercial activity and uses. Different weather protection awnings/verandas styles across each frontage are applied to differentiate between primary and secondary interfaces.

An appropriate material, colour and finishes schedule is proposed, resembling a typical looking commercial building treatment and contemporary use of muted tone colours palette that references existing streetscape palette and allows the building to age well.

Mechanical equipment ducts are integrated into the building. It is recommended to include a condition to conceal any future roof mounted mechanical equipment.

Council's Strategic Planning and Urban Design Departments support the proposal, stating the proposal design response meets the intended outcomes of the Design and Development Overlay Schedule 12 and Vision 2020 by Design – Shire of Yarra Ranges (May 2008).

Carparking / Traffic Impacts

Clause 52.06 (Car Parking) is relevant to the consideration of this application. This clause seeks to ensure there is the provision of an appropriate number of car parking spaces, to ensure that car parking does not adversely affect the amenity of the locality, and to ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

The application seeks a full reduction of the carparking requirement. What is important to note is that the site subject already enjoys an existing reduction of the carparking spaces of eight spaces based on the office car parking rate of 3.5 spaces per 100sqm of net floor area. Notably, a site inspection confirmed the office land use.

A retail premise land use carries no specific prescribed carparking rate, and thus a carparking assessment is to Council's satisfaction. To undertake such an assessment, it not unreasonable to impose an assumption that the proposed commercial areas, with their size and layout lends future uses to be shop uses. The following assessment adopts shop carparking rate to the proposal.

Existing circumstances	No of spaces Required	Existing spaces on the lot	Existing waiver
Office (3.5 spaces per 100 square metres)	8	Nil	8 spaces
<i>Note: Nine (9) car parking spaces are provided on the adjoining lot in common property and shared equally between the subject site and 274 Maroondah Highway. As such the premises has access to 4.5 car parking spaces.</i>			
Proposal	Required	Proposed on the lot	Outcome
Two retail premises (3.5 spaces per 100 square metres)	8	Nil	Shortfall of 8 spaces
Three two-bedroom dwellings requires – 1 space per dwelling	3	Nil	Shortfall 3 spaces
Total spaces required	11	Nil	Shortfall 12 spaces

As discussed, there is a rear commonly owned carpark with a total of nine car spaces shared with 274 Maroondah Highway, which benefits from an approved reduction of 24 spaces for a restaurant land use with a 100-patron capacity since 2005. The carparking rates for a restaurant have changed since 2005, and the currently applied rate results in 274 Maroondah Highway taking benefit of a reduction of 40-car parking spaces. This same site has an office on the first floor that increases the carparking reduction enjoyment for this property. The existing generous carparking waiver for this site exceeds what is sought by this proposal.

The property owner and occupier of 274 Maroondah Highway submitted concerns the proposed development would generate a high carparking demand potentially taking over all jointly owned spaces. Approval of this planning permit would not obviate the need to comply with the existing owner's corporation delineation which is an even 50/50 split between the two properties. Should this occur, it remains a civil matter between owners and not a matter of planning consideration nor capable of mitigation via permit conditions.

The proposal designates three (3) carparking spaces within the commonly rear carpark secured for dwelling use. This is acceptable as residents would require long term guaranteed carparking in proximity to their dwelling. Notably, the current

carpark ownership arrangement, would rationally equate to four (4) car spaces per property owner, with one residual car space. The intended designation of three (3) carparking spaces for this proposal would not undermine the existing ownership arrangement.

To secure designation of three carparking spaces, it is recommended a condition is placed on any permit granted to install a plaque or label wheel stopper or similar to visibly acknowledge the dwelling parking allocation, placed either directly behind the proposed building or within the carpark itself. Furthermore, a condition requires visible markers to delineate each space dimension. The applicant is aware of these recommendations. If the dwellings were proposed to be subdivided in the future, the 50 percent share of the common property that the subject site is entitled to could be split between the three dwellings and the commercial property, effectively allocating the dwellings their own car parking space within the common property entitlement. It is also possible that a subdivision of the common property could occur to formally designate the car parks on title; however this would need the consent of all parties of the Owners Corporation which cannot be guaranteed. Regardless, the distribution of the common property entitlement in the first instance is a satisfactory outcome.

Staff and patrons associated with the retail premises would have more flexibility to park within available public parking areas. It is generally understood visitors to commercial streetscape usually park in one public parking location and visit several retail premises or alike on offer. No one premise need cater for their own expected patrons.

The neighbouring residential properties have expressed concern with potential overflow of carparking demand into the residential street of Symons Street. This is largely unfounded, considering the proposed retail premises replaces an existing office use with similar carparking demands. There is no reason to suggest the proposal would impose an overwhelming car parking demand causing unreasonable adverse traffic impacts along this street. Given the proposed scale of the retail offerings, these premises are unlikely to generate specific trips in their own right and are more likely to be visited in passing by visitors to Healesville that will utilize available public parking. No corresponding concern was raised by Council's Engineering Traffic Department on the matter. There is a level of acceptance for resident's living adjacent to Commercial activity areas must accept; in that:

- Retail premises are expected and encouraged in commercial zones and not all commercial properties have additional economic means or physically capable to supply on-site carparking;
- High parking demand is generally focused on weekend periods (aided by tourism);
- Part of living in proximity to a commercial area is experiencing both good and bad outcomes of commercial offerings that includes any ripple effect of public carparking demand within nearby residential streets; and
- Public carparking is a collective asset and benefited by all

Live Music Entertainment – Clause 53.06

This Victorian provision in essence adopts the commonly referred to *Agent of Change* principle. This principle seeks to protect existing commercial activities when faced with new sensitive use or development, and vice versa. It is the responsibility

of the new development/uses to protect their own amenity and function having regard to existing circumstances.

Pursuant to Clause 53.06 - Live Music Entertainment Venues, a planning permit application to construct a residential building within 50 metres of a live music entertainment venue, must be designed and constructed to include acoustic attenuation measures that will reduce noise levels from any:

- **Indoor** live music entertainment venue to below the noise limits specified in the Environment Protection Regulations under the Environment Protection Act 2017 and the incorporated Noise Protocol (Publication 1826, Environment Protection Authority, November 2020); and
- **Outdoor** live music entertainment venue to below 45 decibels, assessed as an equivalent continuous sound level (L_{eq}) over 15 minutes.

A live music entertainment venue is defined in Clause 53.06 as:

- *a food and drink premises, nightclub, function centre or residential hotel that includes live music entertainment;*
- *a rehearsal studio; and*
- *any other venue used for the performance of music and specified in clause 3.0 of the schedule to this clause, subject to any specified condition or limitation.*

The subject site is in proximity to several food and drink premises including The Grand Hotel which hosts live music events inside the building and close to the frontage facing Maroondah Highway.

The planning report details no outdoor live music entertainment venues within 50 metres of the subject site.

As such, the noise assessment criteria to meet this provision is

- ***Indoor** live music entertainment venue to below the noise limits specified in the Environment Protection Regulations under the Environment Protection Act 2017 and the incorporated Noise Protocol (Publication 1826, Environment Protection Authority, November 2020).*

The application is accompanied by an Acoustic Report (Noise Impact Assessment) prepared by *Sustainability by Engineering, Environment by Design (SEED)*, dated 28 April 2022, (Attachment 7). The Acoustic Report acknowledges the noise criteria requirement at Clause 53.06 and equally acknowledges the Grand Hotel rear outdoor dining area and live amplified music being played within the buildings frontage (northern).

The report has undertaken assumption-based testing for the Grand Hotel on the adjoining site, focusing on this venue with the most relevant noise impacts for the proposal. The report determined that measured noise levels on the western boundary of the subject site would be approximately 58 decibels at ground level and 64 decibels at first floor level. On the northern boundary of the site (Maroondah Highway frontage) the noise from the live music / band intrusion would be approximately 68 decibels at ground level.

A series of construction methods are therefore recommended by the applicant's Acoustic Engineer to reduce noise experienced internally for the proposed dwellings. These construction methods include:

- Window and Sliding Door glazing elements for the living area of each dwelling, bedrooms and services (bathroom/laundry entry);
- Roof/Ceilings constructed to a standard to mitigate sounds to a level of 40 decibels with the use of a teal sheet or equivalent roof;
- External Masonry Walls constructed to a standard to mitigate sounds to a level of 45 decibels; and
- Corten Walls (to be applied to first and second storey walls (both north, east and west facing) constructed to a standard to also mitigate sounds to a level of 45 decibels

All acoustic noise attenuation measures outlined in the report at Point 7 in the Noise Control recommendation (Construction Recommendation) are considered appropriate. It is recommended that conditions are included to any permit granted, reinforcing that the Acoustic Report recommendations are complied with and managed.

In addition, the Acoustic Engineer made further recommendations to the proposed Ground Floor Retail premises:

- No live music bands or DJs performing inside or outside areas;
- No amplification/speakers erected played outside are or on the external walls;
- The entry doors close automatically; and
- Internal wall mounted speakers must be mounted on resilient rubber mounts to avoid potential structure borne noise or vibration through the wall or slab.

Whilst Council has no control over whether a retail premise seeks to play amplification music internally, it is prudent to take note of Acoustic engineer's recommendations on potential 'internal noise impact' between commercial and residential land uses. Council can manage internal noise impacts under this provision, which is further supported by Clause 13 – Amenity to include permit conditions that states:

- no amplification/speakers erected on the building outside or alongside the western pedestrian laneway, and
- retail premise 1 and 2 entry doors to be of a type to close automatically.

Extreme internal noise transfer between building floor levels is a matter between future occupants.

Clause 53.06 provision objectives are met subject to the above recommended conditions.

All acoustic noise attenuation measures and listed recommended permit conditions should supply some reassurance to The Grand Hotel property owner/licenced propriety's objection concern over the ability to continue ordinary activities free from unreasonable residential noise complaints.

Standard commercial amenity conditions are recommended for any permit granted.

An assessment under Clause 58.04-3 - Noise Impact provision may assist further to minimise internal noise transfer and external noise transfer from general commercial

noise. This is discussed in more detail as part of the relevant Clause 58 Apartment Assessment provision below.

Lastly, as acknowledged above, advertised plans have labelled the rear retail premise as 'a Bar'. There is no request for a liquor licence or live music on the site. Each of these activities require further planning permission.

For the purposes of clarity condition 1 requires the plans to be amended to re-label Ground Floor commercial areas to *Retail Premises* to be consistent with a preamble and the application request.

Bushfire Management Overlay

The site is located within an area affected by the Bushfire Management Overlay. A permit is required to construct a building and works and carry out works to accommodation (dwellings) under Clause 44.06-1. The purpose is to strengthen community resilience to bushfire and to minimise risk from wildfire by ensure that residential and other forms of development catering for people in rural areas and on the fringes of urban areas are appropriately sited and designed.

Ordinarily, this provision requires a bushfire assessment in form of Bushfire Management Statement and Bushfire Management Plan information to accompany the permit application.

A bushfire application information assessment can be waived if determined that the purpose/outcome of such information assessment would only determine a Bushfire Attack Level (BAL) rating requirement that already is imposed by a subsequent building permit aided by *Building Act 1993 (Vic) / Building Regulations 2021 (Vic)* for buildings in a Bushfire Prone Area. In assessing a request to waive the information requirements, Council needs to have regard to the physical extent of proposed built form development (in this case upper floor residential dwellings), the established existing-built form surroundings, proximity to high vegetated areas, access to well-connected road network, and any requirement for defendable space and vegetation removal.

Officers have agreed to a waiver to supply Bushfire Management Statement and Bushfire Management Plan acknowledging above considerations.

The application was referred to Country Fire Authority (CFA), whose representative supported the decision to waive the requirement for a Bushfire Management Statement and Bushfire Management Plan information. The CFA also raised no concerns with the proposal and requested no recommending conditions.

A residential use within this established urban setting location would not result in an unreasonable risk to life. Both Clause 13.02 (Bushfire) objectives and Clause 71.02-3 (Integrated Decision Making) – protection of human life above all over policy consideration, are met.

As required by the Bushfire Management Overlay, the mandatory bushfire conditions still apply.

Clause 58 Assessment

Clause 58 provision applies to apartment style residential development located within a Commercial 1 Zone. The purpose of the provision is to encourage apartment development that provides reasonable standards of amenity for existing and new residents, and to encourage apartment development that is responsive to the site and the surrounding area.

A full Clause 58 assessment has been provided in Attachment 5. The proposal is generally considered to be consistent with the standards and objectives of Clause 58.

Planning Scheme Amendment C148 (Seriously entertained amendment)

Council endorsed Planning Scheme Amendment C148 document is yet to be fully approved and gazetted by Minister for Planning. A Council endorsed document is a seriously entertained document, although must be given less weight compared to Scheme, Act and an Incorporated (reference) document for decision making considerations.

Amendment C148 introduces Clause 22.03 Environmentally Sustainable Design Assessment requirement for two or more dwellings and/or a building greater than 500sqm in size. Permit applications are required to submit a 'Sustainable Design Assessment Report' that demonstrates, to the satisfaction of Responsible Authority, the building incorporates sustainable design initiatives that respond to Clause 22.03 policy objectives. Policy outcomes at Clause 15.01-2S (Building Design) includes a series of strategies for sustainable design outcomes, such energy performance of buildings, water efficiency, storm water management, use of recycled and reusable materials and positive interfaces with the public realm.

The application includes a Sustainable Design Assessment Report, which is supported by Council Officers, detailing a myriad of the sustainable design initiatives, including Rainwater tanks to be connected to all dwelling toilets for flushing, use of recycled materials (brick), installation of green roofs, balcony water taps, waste traps, double glazed windows, 3–5-star appliances and NatHERS star energy rating.

The application suitably achieves the *intended* Clause 22.03 - Environmentally Sustainable Design policy objectives specified in the Planning Scheme amendment.

Other matters

The relationship with 274 Maroondah Highway and the Council owned laneway:

As mentioned above the laneway is owned by Council. However, the laneway is not on Council's Road Registry.

It is imperative to acknowledge that in order to support this planning proposal with its primary and sole access for the dwellings and a retail premises from the laneway, installation of an awning along laneway and request for upgrades to the laneway surface, the permit holder will need to enter into a Council licensing agreement. This agreement outlines the access consent, works, liability and ongoing maintenance responsibilities. Licensing agreements are commonly used in situations where a property requires public land for either temporary or permanent access and/or works.

The relevant Council Property/Traffic/Infrastructure departments have been aware of this and as has the applicant. No concerns have been raised by the departments.

Traffic

Both Council’s Traffic Engineering Department and several objectors have raised concern with the surface condition of Council’s pedestrian laneway adjacent to the subject site, citing the surface condition as sub-standard. The proposal activates the Laneway, relying heavily on it for entrances to dwellings and retail premise, and pedestrian foot traffic supporting the retail premise. Upgrading the laneway surface to current Council standards is recommended at the permit holder’s cost and can be secured by including a permit condition. The applicant is aware of this recommendation.

Council’s Traffic Engineering Department have recommended the rear commonly owned car parking area to be resurfaced from existing gravel to a sealed surface. However, the carparking area has existing approval from Council, and the proposal would not generate an increase in the use of carparking beyond the existing usage. There is no planning merit to request works without identifying a necessity generated either by a function and/or usage change of this carparking area. It is further noted in the event of carpark sealing it is very likely to impact an English Elm tree sited on rear shared boundary between 274 Maroondah Highway and 276 Maroondah Highway. The tree is an integral part of Healesville township character. Avoiding any likely construction impacts should be preferred.

Council’s Traffic Engineering Department requested no access doors (bike storage access and waste bins) immediately adjacent to the carparking area in an effort for providing more vehicle movement. Council has approved the carparking layout and there is no change to carparking use or function. Vehicle type (passenger) and usage are the same at present and proposed. There is no planning merit to request this design change.

RESPONSE TO SUBMITTERS CONCERNS

Objector Concerns	Council Officer Response
Neighbourhood character including three storey built form and density	<p>The proposed three storey building is an increase to the general existing building height in the streetscape; however, the transition rhythm is intact and respectful of adjoining buildings including the Grand Hotel which will still sit higher than the proposed development.</p> <p>A full assessment of the proposal’s built form including visual bulk has been completed above in this report. The density of the proposed development is also considered to be satisfactory in the context of the activity centre setting.</p>
Heritage concerns including the demolition of an existing building and lack of	<p>No planning permit is required for the demolition of a non-contributory building. The demolition of the building could legally occur immediately separately to this application.</p> <p>An assessment of the application against heritage matters</p>

Objector Concerns	Council Officer Response
response to heritage preservation	has been completed as part of this report and can be referred to above. The proposed material and colour palette is respectful of the heritage surrounds and appropriate for this type of built form.
Car parking issues	<p>A full car parking assessment has been undertaken above in this report. Council's Traffic Engineering Team have reviewed the application and are supportive of the proposed car parking outcomes. As per the discussion in this report, it is highly unlikely that the small retail premises proposed as part of this application will generate their own traffic trips and are more likely to be visited as part of a trip to Healesville proper i.e., they will not likely be the sole destination for visitors.</p> <p>A Construction Management Plan will be required by way of permit condition to ensure that disruption is minimised to delivery trucks for surrounding businesses.</p>
Common Property usage and entitlement	<p>No evidence of title breaches has actually been provided with the objection. Owners Corporation entitlements cannot be enforced by Council and is entirely a civil matter between the two parties.</p> <p>The current entitlement is not proposed to be changed as part of this application; and any application to change such entitlements will need to be made with the proper consents.</p> <p>The impact of this on the car parking allocation for the proposed dwellings has been discussed above in this report.</p>
Request for works to take place as part of this planning application	<p>Objectors have requested that the rear access to the common carpark be upgraded from Symons Road at the cost of this permit holder. This access is owned and managed by Council. It is in poor condition and used for rear secondary access by multiple properties (both commercial and residential).</p> <p>There is no reasonable justification that this proposal would deteriorate the accessway surface condition beyond what is generally afforded. The number of car parking spaces provided does not change as part of the proposal.</p> <p>This matter can be referred to Councils Asset Management Team for assessment.</p> <p>It is noted that the laneway adjoining the site will be required to be upgraded to Council's standards by way of permit condition at the full cost of the permit holder.</p>
Loss of amenity both during	A Construction Management Plan will be required by way of permit condition to ensure that disruption during the

Objector Concerns	Council Officer Response
construction and post completion	<p>construction phase will be minimised. As with any construction it is unlikely to be able to avoid any impacts whatsoever on adjoining properties.</p> <p>The future amenity of the proposed dwellings is discussed above in this report as part of the assessment of the appropriateness of the land use within a Commercial 1 Zone.</p>
Concern for addition of third bar in close proximity to residential area	<p>As stated above in this report, although the plans have been labelled as a “bar” land use; this would require a separate planning application for the provision of a liquor license to allow for liquor sales. This has not been applied for as part of this application. The notation of “bar” is required to be removed from the plans by way of permit condition and replaced with “retail premises” as applied for as part of this application.</p> <p>Should a liquor licence for retail premises be proposed, an assessment on amenity impacts would form part of decision making process.</p>
Amenity concerns for the Grand Hotel	<p>Overlooking amenity into The Grand Hotel’s outdoor rear garden area via a proposed new dwelling window is no different if the window related to a commercial use. Overlooking concern into a commercial allotment is not a matter of consideration.</p> <p>Loss of natural light to the Grand Hotel second level east elevation windows facing the laneway. Should there be a reduction in natural light this is commercially acceptable. The subject site should be allowed to build on boundary as well and at the greater height than one (1) storey. The proposed building is separated by a laneway and this separation is sufficient to allow daylight into the Grand Hotel.</p> <p>Overshadowing. Any eastern (morning) overshadowing to the neighbouring Grand Hotel outdoor rear area is acceptable. The outdoor area enjoys uninterrupted western afternoon solar access. Northern (midday) solar access is likely to be infringed by The Grand Hotel’s own building.</p>
Amenity concerns for 272 Maroondah Highway	<p>Overshadowing - Any overshadowing of skylights on neighbouring eastern property is acceptable. The northern lot orientation allows skylights to enjoy both east and north solar access.</p> <p>Any increase in building height on the subject site would likely impact skylights. The subject site commercial endeavours should be impeded by an opposing commercial property’s choice to have boundary to boundary building with skylights.</p>

Objector Concerns	Council Officer Response
	<p>Notably, the proposed building has a physical break, corresponding with the eastern adjoining commercial building break.</p> <p>No windows are on the eastern boundary. Unacceptable request to remove light well along the common boundary with 274 Maroondah Highway. There is no material detriment to adjoining properties generated by the light well – which also includes privacy screening to benefit the objector’s property.</p>
Waste Management	Residential waste collection is from Symons Street. Should a Council service be offered for the commercial uses this is matter that requires further consultation between the retail premise occupier and Council. Waste Management Department have indicatively signal commercial bin up on the Maroondah Highway is possible.
Deliveries to Grand Hotel	<p>Awning is to be installed around 3 metres above ground level along the laneway, more than enough for pedestrian access. Laneway is for pedestrian access not vehicle truck unloading/loading.</p> <p>Awning should not encroach into the easement in favour of the Grand Hotel. A condition to reflect this is recommended.</p>
Continuation of live music at the Grand Hotel and other commercial business impact	<p>The continuation of live music in an existing venue has been assessed in detail above in this report and supported by an Acoustic Assessment prepared by an Acoustic Engineer. Mitigation measures have been put in place to ensure that the amenity of the future owners of the dwellings is taken into account and the live music may continue at The Grand Hotel.</p> <p>Other commercial business impacts referenced in the objections such as proliferation of retail premises etc is not something that can be considered as part of a planning application.</p>
Protection of street trees	<p>Council’s Arborist has reviewed the application in respect to the existing street tree and is supportive of the application which does not impact further on the tree than the existing building.</p> <p>Conditions regarding the protection of the street tree during the works have been recommended.</p>
Drainage concerns	Council’s Drainage Engineers have reviewed the application documentation and are supportive of the proposal subject to standard conditions. The buildings have been designed in such a way to manage stormwater runoff from the built form

Objector Concerns	Council Officer Response
	appropriately without impacting on any adjoining buildings.
Fire Risk requires additional plan to be put in place	Evacuation plans for the building can be put in place as required by the Building Regulations once the building is in use. These specific Fire Risk Plans are not required to be completed as part of the planning permit process and are the responsibility of the future users of the site. Bushfire risk has been discussed above in this report.
Documentation inaccuracies throughout submitted documentation	Whilst it is acknowledged that there are minor discrepancies between the reports; none of these alter the assessment that has been done by Council Planning Officers in the preparation of this report and by the supporting Council referral teams. Minor discrepancies between documents are typical of larger applications where multiple reports have been prepared by separate consultants.
Public Infrastructure Demands are too high	Council's Traffic and Drainage Engineers have reviewed the proposal and are supportive of the application. No concern has been raised with regard to utilizing the existing public drainage / sewerage infrastructure that is in place.

CONCLUSION

The application has been assessed against the relevant provisions of the Planning and Local Policy Frameworks, Zone objectives and the relevant Particular and General Provisions of the Yarra Ranges Planning Scheme.

The application is an appropriate and well-designed contextual response of a sustainable development that reinforces social, economic and environment values within the Healesville Township. The proposal will contribute strongly to the township's historical character and will be a valuable asset to existing and future communities for Healesville.

In light of the above, it is considered that the application is worthy of support, and it is recommended that a Notice of Decision to Grant a Planning Permit be issued subject to conditions.

ATTACHMENTS – ALL PUBLISHED SEPARATELY

1. Permit Conditions
2. Planning Controls
3. C148 Planning Scheme Amendment
4. Site Photos
5. Clause 58 Assessment
6. Development Plans
7. Acoustic Engineer Report
8. Traffic Impact Report
9. Arborist Report
10. Waste Management Plan
11. Incorporated Plan Healesville Commercial Precinct
12. Sustainable Assessment Report

Delegate Report –Conditions and Notes

Application	YR-2022/59
Address of the Land	272 Maroondah Highway (Lot 1 PS445694 Sec L) Healesville and Lot 1 TP56660
Proposal	Development of two (2) retail premises, Use and Development three (3) dwellings and reduction in carparking requirements

THE FOLLOWING CONDITIONS ARE PROPOSED FOR THIS APPLICATION:

1. Prior to the endorsement of the development plans, the permit holder must provide evidence from a qualified building surveyor that the buildings (including awnings) are in conformity with relevant Building Regulations to the satisfaction of the Responsible Authority. This includes, but is not limited to, the fire rating of any structure or windows or awnings on or near proposed boundaries of the lots.
2. Prior to the commencement of the use and development (including any permitted removal of any trees or other vegetation), amended plans must be submitted to and approved by the Responsible Authority. When approved the plans will be endorsed and form part of the permit. The plans must be drawn to scale, with dimensions, and be generally in accordance with decision plans prepared by Soft Loud house Architects dated April 2022, but modified to show:
 - a. Delineate and make any modifications necessary to the proposed Laneway awning to ensure no encroachment to Easement 1 [E-1] illustrated on Lot 1 TP 566609J;
 - b. Replace the words 'Bar' and 'Shop' with 'Retail Premise';
 - c. Clean lined simplification of external windows, doors and arches moulding casts.
 - d. Any internal modifications to the bin storage area consistent with the approved Waste Management Plan;
 - e. Existing Common Property carparking area fully dimensioned on Site Plan;
 - f. Clearly delineate and notate, on all relevant plans, plaque/s or signage or similar communicating the secured three (3) designated dwelling carparking spaces located within the rear common property as shown on Ground Floor Plan;
 - g. Clearly delineate and notate, installation of durable surface visible line marker/s consistent with Condition 1e) carpark dimensions for each secured dwelling carparking space;
 - h. A notation, on all relevant plans, stating any chosen material acoustic treatment measures to reduce internal building noise transfer between Commercial use and Dwellings use in accordance with Standard D16, Clause 58.04-3 of the Yarra Ranges Planning Scheme;
 - i. A notation, on all relevant plans, stating the "Lot 1 TP 566609J to resealed/concreted to match the proposed floor levels";
 - j. A notation, on all relevant plans, stating "Retail Premise 1 and 2 entry doors be of a type to close automatically";
 - k. A notation, on all relevant plans, all dwelling showers to be built hobless (step-free) in accordance with Table D7 Standard D18, Clause 58.05-1 of the Yarra Ranges Planning Scheme;
 - l. A notation, on all relevant plans, stating each dwelling internal storage area for each dwelling to be a minimum of 9 cubic metres in accordance with Table D10 Standard D21, Clause 58.05-4 of the Yarra Ranges Planning Scheme; and
 - m. A green roof planting schedule detailing plant species, including botanical names, common names, pot sizes, sizes at maturity, and quantities of each plant.

Delegate Report –Conditions and Notes

n. Any modifications to the awning to achieve Condition 25.

All of the above must be to the satisfaction of the Responsible Authority.

3. The approved use and development, including building layout shown on the endorsed plans shall not be altered or modified without the written consent of the Responsible Authority.
4. The materials, colours, decoration and/or finishes to be applied to the exterior of the building or works as described on the drawings or schedules endorsed to this permit must not be altered without the consent of the Responsible Authority.
5. Prior to the commencement of any works, the permit holder must obtain all necessary consent and enter into a licencing agreement with Council to facilitate works and access within Council owned land (Lot 1 TP566609J).
6. The sustainable provisions and measures outlined in the endorsed Environment Sustainable Assessment Report must be implemented and complied with to the satisfaction of the Responsible Authority.
7. The provisions, recommendations and requirements of the endorsed Acoustic Report must be implemented and complied with to the satisfaction of the Responsible Authority.
8. All external lighting provided on the site must be baffled so that no direct light is emitted beyond the boundaries of the site and no nuisance is caused to adjoining properties to the satisfaction of the Responsible Authority
9. The loading and unloading of vehicles (including private waste collection) and the delivery of goods to and from the land must:
 - a. only be carried out on or adjacent to the boundaries of the land;
 - b. not be conducted before 7.00 a.m. or after 10.00p.m. on any day and;
 - c. not disrupt the circulation and parking of vehicles, pedestrian circulation or access to the satisfaction of the Responsible Authority.
10. Air-conditioning and other plant and equipment installed on the subject building(s) shall be screen concealed, and positioned and baffled so that noise disturbance and is minimised, to the satisfaction of the Responsible Authority.
11. The use and development must be managed so that the amenity of the area is not detrimentally affected including through the:
 - a. Transportation of materials, goods or commodities to or from the land.
 - b. Appearance of any building, works or materials.
 - c. Emission of noise, artificial light, smell, fumes, smoke, vapour, steam, soot, ash, dust, water, waste products, grit or oil.
 - d. Presence of vermin.

All to the satisfaction of the Responsible Authority

Delegate Report –Conditions and Notes

12. Noise levels emanating from the land must not exceed those set out in Environmental Protection Authority's publication 1826.4 Noise limit assessment protocol for the control of noise from commercial, industrial and trade premises and entertainment venues or subsequent applicable policy to the satisfaction of the responsible authority and in accordance with *Environmental Protection Authority Act 2017*.
13. No external sound amplification equipment or speakers to be installed externally to the building and adjacent Laneway Lot 1 TP566609J.
14. Before the occupation of the permitted development, any security alarms or similar devices installed on the premises must be of a silent type in accordance with any current standard published by Australian Standards and be connected to a monitored security service. This arrangement must be thereafter maintained to the satisfaction of the Responsible Authority.
15. Prior to any works commencing on the land a "Construction Management Plan" (CMP) must be prepared to the satisfaction and approval of the Responsible Authority, detailing how the owner will manage the environmental and construction issues associated with the development
The CMP must address;
 - a. any demolition
 - b. bulk excavation
 - c. management of the construction site, including location of materials.
 - d. intended access for construction vehicles.
 - e. hours of construction (NOTE: these works must be consistent with EPA legislation and guidelines).
 - f. noise
 - g. dust suppression
 - h. public safety
 - i. traffic management
 - j. construction vehicle road routes
 - k. soiling and cleaning of roadways
 - l. discharge of any polluted water
 - m. security fencing
 - n. road reserve tree protection fencing
 - o. disposal of site waste and any potentially contaminated materials, location of site offices
 - p. redirection of any above or underground services, and site lighting during any night works.
 - q. phone numbers of on-site personnel or other supervisory staff to be contactable in the event of issues arising on site.

Plan to accord with the EPA Publication No. 480 Best Practice "*Environmental Guidelines for Major Construction Sites*".

Delegate Report –Conditions and Notes

16. The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed.

ARBORIST CONDTIONS

17. The existing street tree(s) must not be removed or damaged to the satisfaction on the Responsible Authority.
18. Prior to the commencement of any buildings and/or works approved by this permit, temporary fencing must be erected around street tree directly in front of the subject site on Maroondah Hwy define a Tree Protection Zone (TPZ) to the satisfaction of the Responsible Authority and must:
 - a. Exclude access and construction activity within the TPZs. If trees have not been assessed, the TPZ is a circle with a radius equal to 12x the trunk diameter measured at 1.4 m above ground level, and
 - b. Have a minimum height of 1.8 metres and comply with Australian Standard AS 4687 for temporary fencing and hoardings, and
 - c. Not extend beyond the site boundaries except into roadside reserve and/or nature strip areas. Fencing within roadside reserves and/or nature strip areas must not prevent the use of a road or footpath, and
 - d. Remain in place until all buildings and/or works are completed, unless with the prior written consent of the Responsible Authority. Temporary fencing can be modified to accommodate encroachment into the TPZ of tree(s) as per the endorsed plans. Fencing must be modified in line with the footprint of the approved works only
19. Prior to any buildings and/or works the permit holder must contact Council's arborist to arrange for any approved roadside tree pruning at the permit holder's cost.
20. All underground service pipes/conduits including storm water and sewerage must be diverted around the Tree Protection Zone (TPZ) of any retained tree, or bored underneath with a minimum cover of 600mm to top of pipe/conduit from natural ground surface to the satisfaction of the Responsible Authority. All pits, holes, joints and tees associated with the installation of services must be located outside the TPZ, or the project arborist must demonstrate works in the TPZ will not impact viable tree retention to the satisfaction of the Responsible Authority.

ENGINEERING CONDITIONS

21. Prior to the occupation of the permitted building, the section of Lot 1 TP566609J adjacent to the building of its full width must be re-sealed or reconstructed using concrete to the satisfaction of the Responsibility Authority. All cost of works is to be bear by the permit holder only.

Delegate Report –Conditions and Notes

22. Prior to the occupation of the permitted development the construction of all civil works within the site, including water tanks, and internal/external signs must be fully completed and subsequently inspected and approved by a suitably experienced Civil Engineering or qualified person at the arrangement and expense of the owner/developer. This person must supply written certification that the works have been constructed in accordance with this permit and to relevant standards to the satisfaction of the Responsible Authority.
23. The car parking spaces, vehicular access ways and drainage approved by this permit are to be maintained and must not be obstructed or made inaccessible to the satisfaction of the Responsible Authority.
24. Prior to the occupation of the permitted development, piped drainage must be constructed to drain all impervious areas incorporating Water Sensitive Urban Design elements to the satisfaction of the Responsible Authority.
25. The installed awning over Lot 1 TP566609J must be constructed with appropriate drainage to direct and discharge water via the approved buildings' on Lot 1 PS445694 nominated legal point of discharge on to the satisfaction of the Responsible Authority.
26. Prior to the occupation of the permitted development, a detention system, on Lot 1 PS445694 must be constructed/installed to drain all impervious areas, to the satisfaction of the Responsible Authority.
27. Prior to the commencement of any works as required by this permit, Development Stormwater Drainage Engineering Plans and Computations must be submitted to, and approved by, the Responsible Authority. Development Stormwater Drainage Engineering Plans and Computations must be in line with all the requirements of the approved point of discharge certificate.
<https://www.yarraranges.vic.gov.au/Development/Roads-drains/Applications-and-permits/Submitstormwater-drainage-and-computations>
28. Prior to the occupation of the permitted development the construction of all civil works within the site, including detention system must be fully completed and subsequently inspected and approved by a suitably experienced Civil Engineer at the arrangement and expense of the owner/developer. This person must supply written certification that the works have been constructed in accordance with this permit and to relevant standards to the satisfaction of the Responsible Authority.

29. **PERMIT EXPIRY**

This permit will expire if one of the following circumstances applies:

- a. The development is not commenced within two (2) years of the date of this permit.
- b. The development is not completed within four (4) years of the date of this permit.
- c. The use is not commenced within two (2) years of the completion of the development.
- d. The use is discontinued for a period more than two (2) years.

The Responsible Authority may extend the periods referred to if a request is made in writing before the permit expires, or within 6 months afterwards if the development has not commenced, or 12 months after if the development has commenced but is not yet completed.

Delegate Report –Conditions and Notes

NOTES:

Prior to the commencement of any works affecting or involving Council roads or drains, Asset Protection and/or Road Reserve/Easement Works permit(s) are required. An application for a permit can be made at the Yarra Ranges Council Community Links (phone 1300 368 333). The application must include a copy of the relevant permit(s), endorsed site plan(s) and approved civil engineering plan(s) if required by this permit.

The management of Stormwater is to be in accordance with the Approved Point of Stormwater Discharge. Please apply for Approved Point of Stormwater Discharge through Council's webpage.

<https://www.yarraranges.vic.gov.au/Property/Roads-drains-footpaths/Stormwater-drainage>

YARRA RANGES PLANNING SCHEME

Zone

Clause 34.01 Commercial 1 Zone (C1Z)

Purpose

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies;
- To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses; and
- To provide for residential uses at densities complementary to the role and scale of the commercial centre.

A use must not detrimentally affect the amenity of the neighbourhood, including through the:

- Transport of materials, goods or commodities to or from the land.
- Appearance of any building, works or materials.
- Emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil.

Overlay

Clause 43.01 Heritage Overlay (HO)

Purpose

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To conserve and enhance heritage places of natural or cultural significance.
- To conserve and enhance those elements which contribute to the significance of heritage places.
- To ensure that development does not adversely affect the significance of heritage places.
- To conserve specifically identified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Clause 43.02 Design and Development Overlay Schedule 12 (DDO12)

Purpose

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To identify areas which are affected by specific requirements relating to the design and built form of new development.

The site is located within Schedule 12 – Town Centres – Healesville, Monbulk, Seville, Warburton, Yarra Glen and Yarra Junction. The schedule provides a character statement for these towns as follows:

These town centres will be dominated by a main street that retains a classic and attractive country town character. The built form of new development will reinforce this character and retain the distinctive features associated with the historic development of the town, including established trees and views to rural features such as nearby wooded hills or farmland.

The schedule provides the following design objectives for these towns:

- To enhance the distinctive built form and streetscape characteristics of the town centre.
- To reinforce the main street as the focus of business and pedestrian activity in the town centre.
- To maintain visual links between the town centre and its rural hinterland.
- To protect and enhance the amenity of residential and public places within and adjoining the town centre.
- To provide safe and convenient on site car parking that has a minimal visual impact

Clause 44.06 Bushfire Management Overlay (BMO)

Purpose

- To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To identify areas where the bushfire hazard warrants bushfire protection measures to be implemented.
- To ensure development is only permitted where the risk to life and property from bushfire can be reduced to an acceptable level.

Pursuant to the provisions of the overlay a planning permit is required <<variable - insert permit triggers>>

An application to construct a building, construct or carry out works or to subdivide land must meet the requirements of Clause 52.47 unless a schedule to this overlay specifies different approved measures or additional alternative measures and decision guidelines to those set out in Clause 52.47 (refer to the particular provision section of the report for more detail).

The Overlay also contains mandatory conditions which must be included in any planning permit issued for subdivision and buildings and works.

An application must be referred under Section 55 of the Act to the person or body specified as the referral authority in Clause 66.03, unless a schedule to this overlay specifies otherwise.

Planning Policy

Clause 11 Settlement

This clause is relevant to this application as it contains objectives relating to activity centre networks, activity centre planning, housing choice and affordability, environment and water and green wedges. Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

Clause 11.03-1s Activity centres

Objective

To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

Strategies

- Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:
- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.

Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

Undertake strategic planning for the use and development of land in and around activity centres.

Give clear direction on preferred locations for investment.

Encourage a diversity of housing types at higher densities in and around activity centres.

Reduce the number of private motorised trips by concentrating activities that generate high numbers of (non-freight) trips in highly accessible activity centres.

Improve access by walking, cycling and public transport to services and facilities.

Support the continued growth and diversification of activity centres to give communities access to a wide range of goods and services, provide local employment and support local economies.

Encourage economic activity and business synergies.

Improve the social, economic and environmental performance and amenity of activity centres.

Clause 13 Environmental and Landscape Values

This clause is relevant to this application as it contains objectives which seek to assist with protection and conservation of Victoria's biodiversity, to protect and conserve environmentally sensitive areas and to maintain and enhance the natural landscape character of the Yarra River corridor in which the topography, waterway, banks and tree canopy are dominant features providing a highly valued, secluded, natural environment for the enjoyment of the public.

Clause 13.02-1S Bushfire planning

Policy application

This policy must be applied to all planning and decision making under the *Planning and Environment Act 1987* relating to land that is:

- Within a designated bushfire prone area;
- Subject to a Bushfire Management Overlay; or
- Proposed to be used or developed in a way that may create a bushfire hazard.

Objective

To strengthen the resilience of settlements and communities to bushfire through risk-based planning that prioritises the protection of human life.

Strategies

Protection of human life

- Give priority to the protection of human life by:
 - Prioritising the protection of human life over all other policy considerations.
 - Directing population growth and development to low risk locations and ensuring the availability of, and safe access to, areas where human life can be better protected from the effects of bushfire.
 - Reducing the vulnerability of communities to bushfire through the consideration of bushfire risk in decision making at all stages of the planning process.

Bushfire hazard identification and assessment

Identify bushfire hazard and undertake appropriate risk assessment by:

- Applying the best available science to identify vegetation, topographic and climatic conditions that create a bushfire hazard.
- Considering the best available information about bushfire hazard including the map of designated bushfire prone areas prepared under the *Building Act 1993* or regulations made under that Act.
- Applying the Bushfire Management Overlay to areas where the extent of vegetation can create an extreme bushfire hazard.
- Considering and assessing the bushfire hazard on the basis of:
 - Landscape conditions - meaning conditions in the landscape within 20 kilometres (and potentially up to 75 kilometres) of a site;
 - Local conditions - meaning conditions in the area within approximately 1 kilometre of a site;
 - Neighbourhood conditions - meaning conditions in the area within 400 metres of a site; and
 - The site for the development.
- Consulting with emergency management agencies and the relevant fire authority early in the process to receive their recommendations and implement appropriate bushfire protection measures.
- Ensuring that strategic planning documents, planning scheme amendments, planning permit applications and development plan approvals properly assess bushfire risk and include appropriate bushfire protection measures.
- Not approving development where a landowner or proponent has not satisfactorily demonstrated that the relevant policies have been addressed, performance measures satisfied or bushfire protection measures can be adequately implemented.

Settlement planning

Plan to strengthen the resilience of settlements and communities and prioritise protection of human life by:

- Directing population growth and development to low risk locations, being those locations assessed as having a radiant heat flux of less than 12.5 kilowatts/square metre under *AS 3959-2009 Construction of Buildings in Bushfire-prone Areas* (Standards Australia, 2009).
- Ensuring the availability of, and safe access to, areas assessed as a BAL-LOW rating under *AS 3959-2009 Construction of Buildings in Bushfire-prone Areas* (Standards Australia, 2009) where human life can be better protected from the effects of bushfire.
- Ensuring the bushfire risk to existing and future residents, property and community infrastructure will not increase as a result of future land use and development.
- Achieving no net increase in risk to existing and future residents, property and community infrastructure, through the implementation of bushfire protection measures and where possible reducing bushfire risk overall.
- Assessing and addressing the bushfire hazard posed to the settlement and the likely bushfire behaviour it will produce at a landscape, settlement, local, neighbourhood and site scale, including the potential for neighbourhood-scale destruction.
- Assessing alternative low risk locations for settlement growth on a regional, municipal, settlement, local and neighbourhood basis.
- Not approving any strategic planning document, local planning policy, or planning scheme amendment that will result in the introduction or intensification of development in an area that has, or will on completion have, more than a BAL-12.5 rating under *AS 3959-2009 Construction of Buildings in Bushfire-prone Areas* (Standards Australia, 2009).

Areas of biodiversity conservation value

Ensure settlement growth and development approvals can implement bushfire protection measures without unacceptable biodiversity impacts by discouraging settlement growth and development in bushfire affected areas that are important areas of biodiversity.

Use and development control in a Bushfire Prone Area

In a bushfire prone area designated in accordance with regulations made under the *Building Act 1993*, bushfire risk should be considered when assessing planning applications for the following uses and development:

- Subdivisions of more than 10 lots.
- Accommodation.
- Child care centre.
- Education centre.
- Emergency services facility.
- Hospital.
- Indoor recreation facility.
- Major sports and recreation facility.
- Place of assembly.
- Any application for development that will result in people congregating in large numbers.

When assessing a planning permit application for the above uses and development:

- Consider the risk of bushfire to people, property and community infrastructure.
- Require the implementation of appropriate bushfire protection measures to address the identified bushfire risk.

- Ensure new development can implement bushfire protection measures without unacceptable biodiversity impacts.

Clause 13.05-1S - Noise management

Objective

To assist the management of noise effects on sensitive land uses.

Strategy

Ensure that development is not prejudiced and community amenity and human health is not adversely impacted by noise emissions.

Minimise the impact on human health from noise exposure to occupants of sensitive land uses (residential use, child care centre, school, education centre, residential aged care centre or hospital) near the transport system and other noise emission sources through suitable building siting and design (including orientation and internal layout), urban design and land use separation techniques as appropriate to the land use functions and character of the area.

Clause 15 Built Environment and Heritage

This clause is of relevance as it seeks to ensure the design of subdivisions achieves attractive, liveable, walkable, cyclable, diverse and sustainable neighbourhoods, to recognise and protect cultural identity, neighbourhood character and a sense of place, to ensure the conservation of places of heritage significance and to ensure the protection and conservation of places of Aboriginal cultural heritage significance.

Clause 16 Housing

This clause is of relevance as it seeks to provide for a range of housing types to meet increasingly diverse needs, to identify land suitable for rural living and rural residential development, to facilitate the timely development of residential aged care facilities to meet existing and future needs and to encourage well-designed and appropriately located residential aged care facilities.

Clause 16.01-1S Housing supply

Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

Strategies

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- Provides a high level of internal and external amenity.
- Incorporates universal design and adaptable internal dwelling design.

Support opportunities for a range of income groups to choose housing in well-serviced locations.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

Clause 16.01-1R - Housing supply - Metropolitan Melbourne

Strategies

Manage the supply of new housing to meet population growth and create a sustainable city by developing housing and mixed use development opportunities in locations that are:

- In and around the Central City.
- Urban-renewal precincts and sites.
- Areas for residential growth.
- Areas for greyfield renewal, particularly through opportunities for land consolidation.
- Areas designated as National Employment and Innovation Clusters.
- Metropolitan activity centres and major activity centres.
- Neighbourhood activity centres - especially those with good public transport connections.
- Areas near existing and proposed railway stations that can support transit-oriented development.

Identify areas that offer opportunities for more medium and high density housing near employment and transport in Metropolitan Melbourne.

Facilitate increased housing in established areas to create a city of 20 minute neighbourhoods close to existing services, jobs and public transport.

Provide certainty about the scale of growth by prescribing appropriate height and site coverage provisions for different areas.

Allow for a range of minimal, incremental and high change residential areas that balance the need to protect valued areas with the need to ensure choice and growth in housing.

Create mixed-use neighbourhoods at varying densities that offer more choice in housing.

Clause 16.01-2S - Housing affordability

Objective

To deliver more affordable housing closer to jobs, transport and services.

Strategies

Improve housing affordability by:

- Ensuring land supply continues to be sufficient to meet demand.
- Increasing choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and to support diverse communities.
- Promoting good housing and urban design to minimise negative environmental impacts and keep costs down for residents and the wider community.
- Encouraging a significant proportion of new development to be affordable for households on very low to moderate incomes.

Increase the supply of well-located affordable housing by:

- Facilitating a mix of private, affordable and social housing in suburbs, activity centres and urban renewal precincts.
- Ensuring the redevelopment and renewal of public housing stock better meets community needs.

Facilitate the delivery of social housing by identifying surplus government land suitable for housing.

Clause 17 Economic Development

Planning is to provide for a strong and innovative economy, where all sectors are critical to economic prosperity.

Planning is to contribute to the economic wellbeing of the state and foster economic growth by providing land, facilitating decisions and resolving land use conflicts, so that each region may build on its strengths and achieve its economic potential.

17.01-1S Diversified economy

Objective

To strengthen and diversify the economy.

Strategies

- Protect and strengthen existing and planned employment areas and plan for new employment areas.
- Facilitate regional, cross-border and inter-regional relationships to harness emerging economic opportunities.

- Facilitate growth in a range of employment sectors, including health, education, retail, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region.
- Improve access to jobs closer to where people live.
- Support rural economies to grow and diversify.

Clause 17.02-1S Commercial Business

Objective

To encourage development that meets the community's needs for retail, entertainment, office and other commercial services.

Strategies

- Plan for an adequate supply of commercial land in appropriate locations.
- Ensure commercial facilities are aggregated and provide net community benefit in relation to their viability, accessibility and efficient use of infrastructure.
- Locate commercial facilities in existing or planned activity centres.
- Provide new convenience shopping facilities to provide for the needs of the local population in new residential areas and within, or immediately adjacent to, existing commercial centres.
- Provide small scale shopping opportunities that meet the needs of local residents and workers in convenient locations.
- Provide outlets of trade-related goods or services directly serving or ancillary to industry that have adequate on-site car parking.
- Locate cinema based entertainment facilities within or on the periphery of existing or planned activity centres.
- Apply a five year time limit for commencement to any planning permit for a shopping centre or shopping centre expansion of more than 1000 square metres leasable floor area.

MSS 21.04-1 Residential Land Use

Unlike most of the other municipalities within metropolitan Melbourne, the Yarra Ranges Council performs both an urban and a rural role. Within Council there are opportunities for a range of lifestyle choices and residential environments. The high quality environmental setting or backdrop enhances the overall appeal and attractiveness of both the urban areas and small townships scattered throughout the municipality. The character of individual areas is determined by the combination of a number of key factors including lot size, road treatments, topography, and vegetation cover.

Clause 21.04-1 provides direction and policy for Residential Land Use and includes objectives for consolidation of housing, housing diversity, residential accommodation in commercial areas, and green wedge residential.

Of relevance to this application is Objective 2 – Housing Diversity which seeks to encourage a diversity of dwelling types to meet the needs of the population. It is sought to do this through the following strategies:

- Promote redevelopment and greater housing diversity in identified consolidation areas (RGZ) within the major activity centres of Lilydale and Chirnside Park. These centres have the capacity to cope with increased densities and offer convenient access to town centres, commercial and community facilities.
- Encourage higher densities in consolidation areas in the General Residential Zone which offer a choice of transportation options to reduce car dependency.

- Provide opportunities for increased densities on aggregated lots within consolidation areas that have walkable access to shops, public transport and community facilities.
- Encourage the provision of affordable housing components in new developments in identified consolidation areas and other locations that provide convenient access to town centres, commercial and community facilities.
- Promote subdivision that supports large lots in consolidation areas.
- Encourage 1 and 2 bedroom dwellings in all multi unit developments.
- Ensure retirement villages are designed to include a significant proportion of 1 and 2 bedroom units.
- Encourage dwellings that are accessible for people of all abilities.
- Support proposals for co-housing, retirement villages and residential aged care facilities in locations practical to the needs of an aging population and away from areas of environmental risk.

MSS 21.04-2 Commercial Land Use

This clause recognises that the key issues associated with commercial development within Council include:

- Commercial centres are important to local communities and there is a need to consolidate commercial uses in these areas.
- Tourism contributes significantly to the economy of Council.
- A significant amount of parkland is in public ownership and these areas are becoming increasingly popular with people interested in 'environmental experiences' such as bush walking or mountain biking.
- Small scale tourist accommodation is creating issues with residential amenity and environmental features.
- There is growing demand for eating and overnight accommodation facilities in the Yarra Valley.
- The challenge is to achieve (and maintain) a delicate balance between tourism, the environment and protecting the amenity of the existing residents.

Objective 1 - Commercial Development seeks to promote the future growth and prosperity of Council.

It is policy that:

- Commercial centres are the preferred location for retail, business and community services and encroachment of these uses into other areas be discouraged.
- Any proposed land use reinforces and enhances the established role of the centre.
- The proposed use be located on a site that can provide adequate car parking without compromising the character and appearance of the built and natural environments.
- Traffic generated by a proposed use be able to be accommodated without compromising the functioning of the centre or detracting from the residential amenity of the surrounding area.
- Shops and business uses in the core area of the centre provide a continuity of retail display windows at ground floor level.
- Retail facilities (other than a convenience shop), tourist facilities, recreation facilities (other than on public land) and places of assembly not be established in Foothills Residential Areas, Green Wedge areas, Rural Conservation Zone or other residential areas, particularly those which have environmental or amenity constraints.
- Any proposal to establish a commercial use in a Rural Living Area:

- Demonstrate why the use needs to be located in such an area rather than within a commercial or industrial area.
- Not lead the transformation of the area to a quasi-commercial area or form ribbon commercial development along main or tourist roads.
- Not lead to the fragmentation of the current land holding pattern.
- Be provided with setbacks from common boundaries with adjoining residential uses that ensure the protection of residential amenity and, where appropriate, provide for the establishment of effective landscaping and screening buffers.

For proposals considering restaurants, further policies are as follows:

- The preferred locations for restaurants are any of the following:
 - In urban areas or rural townships that are within or adjoining an established commercial centre (and are within the Urban Growth Boundary).
 - Where the restaurant will be associated with a visitor accommodation facility or other tourist facility providing for more than 30 people.
 - Where the restaurant will be associated with an established vineyard and winery which is producing wines from grapes or fruit grown predominantly on the site.
- Restaurants be located to not contribute to a concentration of similar land use activities which would alter the established residential character of the surrounding area or detract from its residential amenity.
- Restaurants have direct access to a sealed road or formed gravel road which is capable of accommodating anticipated traffic levels without causing any adverse effect on local residential amenity.
- Restaurants be designed and sited to protect the amenity of residents and the visual and environmental qualities of the area, and to achieve the primary purpose of the zone within which the land is situated.

Objective 3 - Local Employment seeks to facilitate local employment opportunities within the small townships dispersed throughout Council, especially opportunities based on the use of information technology and telecommunications in business activities or in servicing local needs.

It is sought to achieve this through the following strategies:

- Encourage and facilitate the establishment of businesses which have little or no impact on local amenity or the environment, and which provide employment and business opportunities, especially for people living in the small townships.
- Provide for small scale home based businesses which provide local employment opportunities in Rural Townships.

MSS 21.05 Settlement

This clause recognises that activity centres in Council range in size from large suburban centres on the metropolitan fringe, to those serving towns and smaller settlements in the rural and green wedge areas. These activity centres provide a range of retail, commercial and other community services and are important sources of employment opportunities for the local population. Council's two major activity centres, at Lilydale and Chirnside Park, offer significant opportunities for more intensive redevelopment including employment generating commercial uses and higher density housing.

Objective 1 - Sustainable Towns seeks to establish sustainable and attractive townships which can support a range of residential, commercial, retail, community and recreational facilities and services.

It is sought to achieve this through the following strategies:

- Enhance the economic viability, safety and efficiency of the towns.

- Encourage activities which reinforce the character and function of each centre while catering for local and visitor needs.
- Set strategic directions for future development and changes in land use.
- Encourage small business and their use by local communities.
- Promote good design and a high quality level of amenity which helps to define and enhance the individual character of each town.
- Consider and respond to needs for infrastructure.
- Provide for quality retail, commercial and community facilities which cater for consumer needs.
- Provide adequate design and services that allow rapid and effective response by emergency services.
- Retain compact townships with their distinct village-like character and environmental features.
- In rural townships, provide for small scale home businesses which provide local employment opportunities.
- Prevent the intrusion of uses that would fragment the form and layout, and that are not complementary to the role and function, of the centre.
- Cluster land uses that complement the role and function of the centre.
- Encourage land uses that will maintain and enhance the viability of the centre.
- Contain and consolidate existing commercial centres to improve the centre's convenience to users and minimise any impacts or intrusions into adjoining residential areas or natural environments.
- Develop the continuity of shopping activity at street frontages in the core retail area.

Objective 4 - Rural Townships seeks to maintain and enhance the rural setting and compact form of the rural townships.

Strategies to achieve this objective include:

- Contain small rural townships within currently defined urban boundaries, to create distinctive and compact areas separated by rural based activities.
- Provide for additional infill development in undeveloped and fully serviced areas that are zoned for urban use, and which are not subject to environmental or other development constraints.
- Restrict commercial and non agricultural activities along State Highways and other main rural and tourist road frontages between the towns, to ensure that productive agricultural land and environmental values are protected and rural landscapes are maintained.
- Prevent ribbon development of commercial activities occurring along main or tourist roads.

MSS 21.06 Built Form

This clause recognises that Yarra Ranges includes areas of widely recognised natural beauty with landscapes that offer some of the most attractive scenery in the State. Its towns, villages and rural areas each have their own visual identity which is valued by residents and visitors. It is important that new development respects and maintains these valued characteristics. Good design in the built environment is not simply limited to aesthetically pleasing design. It encourages a sense of local identity and seeks to improve people's experience of a space or locality. It contributes to creating places that people want to be in. The creation of a more sustainable urban form that consolidates development in existing town centres has many environmental and social benefits. It reduces car dependency, makes more efficient use of community infrastructure and adds life and vitality to town centres.

Objective 1 – Siting and Design seeks to promote proper siting and good design in the construction of all buildings and in the carrying out of works.

Objective 2 - Town Centre Design seeks to provide well designed and integrated commercial centres that provide a range of retail and business facilities and associated community services that meet the needs of the local residents and the tourists visiting the municipality.

Objective 4 – Pedestrian Amenity seeks to ensure town centres are attractive, safe and functional for pedestrians by providing open spaces throughout centres to create attractive sheltered rest areas for pedestrians and enhance the overall amenity and identity of the centre and Recreation trails and other areas in the public realm need to be protected to avoid adverse visual impact.

It is policy that:

- Buildings and works aim to improve pedestrian and shopper amenity in centres wherever possible by providing pedestrian paths throughout the centre, pedestrian links to car parks, sheltered rest areas and pedestrian weather protection facilities.
- New development be designed to provide convenient access for people with disabilities.
- Encourage effective pedestrian links between centre, car parking, public transport facilities, recreational trails and nearby parklands.

Objective 5 - Design and Development of Tourism and Recreation Facilities seeks to ensure that development of new tourist facilities be compatible and integrated with surrounding land uses and the natural and built environments by ensuring that tourism and recreation use and development is managed, located, designed and sited in a manner which protects and enhances the special environmental and landscape characteristics of the area.

When considering buildings and works for tourism or recreation it is considered appropriate that:

- Development be visually and physically integrated on the site without loss of amenity or degradation to the environment.
- Demonstrate that the proposed buildings and works will not compromise the landscape and environmental qualities of the surrounding area, or substantially change the natural land form.
- Earthworks, filling and excavations are properly stabilised, battered and landscaped predominantly with indigenous vegetation so that soil erosion and runoff are minimised.
- Buildings and works and signs be sensitively sited and designed to:
 - Maintain the scenic quality and character of the area, particularly existing view lines and vistas.
 - Protect any environmental features, including remnant vegetation and wildlife habitats, and the landscape character and land form of the area.
 - Integrate with and complement any established image, streetscape or built form character of the area.
 - Retain and enhance any existing indigenous vegetation or other significant vegetation on the site.
 - Avoid any on-site and off-site impacts, including traffic, parking, noise disturbance, odour and fumes.
 - Ensure any signs are located and designed in accordance with policy for Advertising Signs so that they do not detract from the landscape character or unnecessarily distract passing traffic.
 - Avoid prominent ridgelines, hill tops and other visually exposed sites.
- All internal roads and access tracks be located, designed, constructed and landscaped to maintain and enhance the landscape character of the area and to minimise soil erosion and loss of residential amenity to adjoining or nearby residential properties.

Objective 6 – Buildings in Residential, Rural Living and Rural Areas seeks to ensure that any development reflects the environmental and physical form of the surrounding neighbourhood.

Objective 7 - Neighbourhood Character - Residential Areas seeks to recognise and protect the distinctive characteristics and environmental features of the residential areas throughout Yarra Ranges.

It is sought to do this through the following strategies:

- Encourage higher density housing that retains and/or upgrades existing housing, and enhances the overall character of the area.
- Ensure that subdivision and development in residential areas addresses the landscape elements and landscape character objectives of the corresponding Significant Landscape Overlay and/or design objectives of the Design and Development Overlay.
- Ensure subdivision and development complements the existing site features such as slope, terrain, substantial trees and remnant vegetation.
- Retain extensive tree canopy cover and native vegetation and ensure that opportunities are available to establish and preserve substantial trees within residential areas.
- Encourage single dwellings as the predominant form of housing in residential areas designated for least change (Residential Framework Map).
- Protect and enhance the rural residential areas to ensure new development is compatible with the scale and bulk of nearby buildings.

LPPF 22.11 Healesville Commercial Precinct

This policy builds on Clauses 15.03, 21.06 and 43.01 to protect and conserve cultural heritage by providing specific guidelines for the Healesville Commercial Precinct. Healesville Commercial Precinct is of local historical, social and aesthetic/ architectural significance as a long standing shopping strip in Healesville. Known as Nicholson Street, the street was named after the Premier of Victoria between 1859 and 1860. Nicholson Street emerged after the town survey in 1865 as the main street through Healesville. Significant and contributory buildings range from 1880s to post World War II. Nicholson Street has historically contained diverse business activities supporting local tourists as well as residents. Situated on a terraced hillside and lined with mature trees, Nicholson Street generally contains, two storey buildings located on the high side and single storey on the low side of the street.

The objectives of this policy are to:

- Maintain the prominence of the significant and contributory buildings in the precinct.
- Ensure development integrates with surrounding heritage buildings and streetscape.
- Encourage new development that enhances the character and appearance of the heritage precinct and adopts a contemporary interpretation of traditional forms.
- Ensure new development does not dominate the heritage precinct.
- Maintain the architectural integrity and character of significant and contributory buildings.
- Ensure development of non-contributory buildings is considered in the context of their impact on significant and contributory buildings and the streetscape.

It is policy to:

- Consider the relevant heritage study, giving particular regard to the statement of significance.
- Protect and maintain the mature street trees. (covered by separate HO159)

New buildings, alterations and additions

- Ensure the overall form of development reflects the bulk, height, setbacks, form and appearance of typical contributory and significant heritage buildings.

- Discourage changes to the principal facade or visible roof form of significant and contributory buildings.
- Discourage alterations or additions which obscure, alter or remove original features and details that contribute to the significance of the place.
- Encourage alterations and additions to be designed in a manner that responds to and is compatible with the built form and architectural treatment of the heritage place.
- Encourage additions to significant and contributory buildings at the rear where they are less visible from the street.
- Encourage upper level additions to be sited behind the principal visible roof so they are less visible from the street.
- Ensure new development is clearly distinguishable as new buildings.
- Encourage the removal of elements which are intrusive to the heritage significance.
- Encourage the use of traditional construction materials.
- Retain shop fronts, doors and windows of significant and contributory buildings as important aspects of the public interface of retail premises and streetscape.
- Discourage the painting or rendering of unpainted surfaces.
- Discourage the installation of new windows and doors in the front facade or in areas that are visible to the public realm.
- Discourage the replacement of original timber window frames with alternative materials such as aluminium.

52.06 CAR PARKING

The purpose of this clause is:

- To ensure that car parking is provided in accordance with the State Planning Policy Framework and Local Planning Policy Framework.
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

53.02 BUSHFIRE PLANNING

Purpose

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To ensure that the development of land prioritises the protection of human life and strengthens community resilience to bushfire.
- To ensure that the location, design and construction of development appropriately responds to the bushfire hazard.
- To ensure development is only permitted where the risk to life, property and community infrastructure from bushfire can be reduced to an acceptable level.
- To specify location, design and construction measures for a single dwelling that reduces the bushfire risk to life and property to an acceptable level.

53.06 LIVE MUSIC ENTERTAINMENT VENUES

The purpose of this clause is:

- To recognise that live music is an important part of the State's culture and economy.
- To encourage the retention of existing and the development of new live music entertainment venues.
- To protect live music entertainment venues from the encroachment of noise sensitive residential uses.
- To ensure that noise sensitive residential uses are satisfactorily protected from unreasonable levels of live music and entertainment noise.
- To ensure that the primary responsibility for noise attenuation rests with the agent of change.

Application

This clause applies to an application required under any zone of this scheme to use land for, or to construct a building or construct or carry out works associated with:

- A live music entertainment venue.
- A noise sensitive residential use that is within 50 metres of a live music entertainment venue.
- A noise sensitive residential use that is in an area specified in clause 1.0 of the schedule to this clause

This clause does not apply to:

- The extension of an existing dwelling.
- A noise sensitive residential use that is in an area specified in clause 2.0 of the schedule to this clause.

Meaning of terms

In this clause:

- **live music entertainment venue** means:
 - a food and drink premises, nightclub, function centre or residential hotel that includes live music entertainment
 - a rehearsal studio
 - any other venue used for the performance of music and specified in clause 3.0 of the schedule to this clause, subject to any specified condition or limitation.
- **noise sensitive residential use** means a community care accommodation, dependent person's unit, dwelling, residential aged care facility, residential village, retirement village or rooming house.

Requirements to be met

A live music entertainment venue must be designed, constructed and managed to minimise noise emissions from the premises and provide acoustic attenuation measures that would protect a noise sensitive residential use within 50 metres of the venue.

A noise sensitive residential use must be designed and constructed to include acoustic attenuation measures that will reduce noise levels from any:

- Indoor live music entertainment venue to below the noise limits specified in the Environment Protection Regulations under the *Environment Protection Act 2017* and the incorporated Noise Protocol (Publication 1826, Environment Protection Authority, November 2020)
- Outdoor live music entertainment venue to below 45dB(A), assessed as an L_{eq} over 15 minutes.

For the purpose of assessing whether the above noise standards are met, the noise measurement point may be located inside a habitable room of a noise sensitive residential use with windows and doors closed (consistent with EPA Publication 1826).

A permit may be granted to reduce or waive these requirements if the responsible authority is satisfied that an alternative measure meets the purpose of this clause.

Application requirements

An application must be accompanied by the following information, as appropriate:

- A site analysis, including plans detailing:
 - the existing and proposed layout of the use, buildings or works, including all external windows and doors
 - the location of any doors, windows and open space areas of existing properties in close proximity to the site.
- If the application is associated with a noise sensitive residential use:
 - the location of any live music entertainment venues within 50 metres of the site
 - the days and hours of operation of identified venues.
- If the application is associated with a live music entertainment venue:
 - the location of any noise sensitive residential uses within 50 metres of the site
 - the days and hours of operation of that venue
 - the times during which live music will be performed.
- Details of existing and proposed acoustic attenuation measures.
- An assessment of the impact of the proposal on the functioning of live music venues.

If in the opinion of the responsible authority an application requirement is not relevant to the evaluation of an application, the responsible authority may waive or reduce the requirement.

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The extent to which the siting, layout, design and construction minimise the potential for noise impacts.
- Whether existing or proposed noise sensitive residential uses will be satisfactorily protected from unreasonable live music and entertainment noise.
- Whether the proposal adversely affects any existing uses.
- The social and economic significance of an existing live music entertainment venue.
- The impact of the proposal on the functioning of live music venues.

58 APARTMENT DEVELOPMENTS

The purpose of this clause is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage apartment development that provides reasonable standards of amenity for existing and new residents.
- To encourage apartment development that is responsive to the site and the surrounding area

Requirements

A development:

- Must meet all of the objectives of this clause.
- Should meet all of the standards of this clause.

If a zone or a schedule to a zone, or a schedule to an overlay specifies a requirement different from a requirement of a standard set out in Clause 58 (excluding Clause 58.04-1), the requirement in Clause 58 applies.

For Clause 58.04-1 (Building setback):

- If a zone or a schedule to a zone specifies a building setback requirement different from a requirement set out in Clause 58.04-1, the building setback requirement in the zone or a schedule to the zone applies.
- If the land is included in an overlay and a schedule to the overlay specifies a building setback requirement different from the requirement set out Clause 58.04-1 or a requirement set out in the zone or a schedule to the zone, the requirement for building setback in the overlay applies.

Amendment C148

Clause 21.05 Built Form

Key issues

The suburbs, towns and rural landscapes of Yana Ranges each have their own visual identity which is valued by residents and many visitors.

The varied terrain of Yarra Ranges includes landscapes of widely recognised natural beauty that offer some of the most attractive scenery in the State.

The planning and design of new development in Yana Ranges will be guided by the following 5 sustainable design principles:

- Sense of Place - New development must add to the character and identity of distinct localities in Yarra Ranges.
- Protection Environments - New development must respect and protect sensitive environments, significant landscapes and cultural and natural heritage.
- Design Quality – New development must be of high design quality.
- Sustainable Urban Form - New development must contribute to environmentally sustainable forms of urban and rural development.
- Sustainable Building Design - New development must incorporate best practice in ecologically sustainable building design.

Clause 21.06-5 Environmental Hazards

Objective 2 Bushfire

To minimise the risk to life and property from bushfire and give priority to the protection of human life.

Strategies

Ensure that the threat to life and property from bushfire is not increased by inappropriate development of land use changes.

Clause 22.03 Environmentally Sustainable Development

This policy applies where a planning permit is required to construct a commercial building with a gross floor area of more than 500 square metres.

Objectives

To encourage buildings to be oriented to minimise summer heat gain and winter heat loss.

To encourage the use of passive solar heating and cooling.

To encourage the use of building materials and components which minimise adverse environmental impacts.

To achieve a healthy indoor environment quality to support the health and wellbeing of building occupants.

To minimise the use of potable water.

To encourage sustainable management of stormwater.

To minimise waste and support its efficient disposal.

To minimise development impacts on local biodiversity.

To ensure development is linked to public transport and, cycle and pedestrian paths.

Application Requirements

Development of over 1000sqm of floor – Requires a Sustainable Management Plan (SMP) - example include BESS, Green Star, MUSIC or STORM - prepared by a suitably qualified and, or experienced person. It must detail the development's sustainable design initiatives, across all stages of development, to the satisfaction of the responsible authority.



Figure 1 Site Building Frontage



Figure 2 Frontage facing East

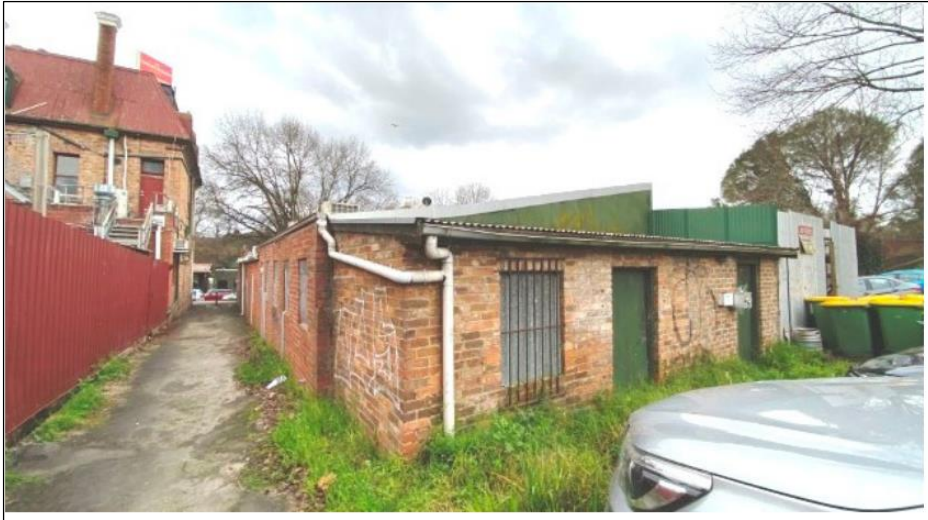


Figure 3 Site Rear Building facing North



Figure 4 Common parking area facing North-East



Figure 5 Common parking area facing North



Figure 6 Common parking area facing North (closer)



Figure 7 Common parking area facing north – west



Figure 8 Council Road from Symon Street – lending to carpark- south facing

CLAUSE 58 ASSESSMENT

Clause 58 provision applies to apartment style residential development located within Commercial Zone 1. The purpose of the provision is to encourage apartment development that provides reasonable standards of amenity for existing and new residents, and to encourage apartment development that is responsive to the site and the surrounding area.

A development:

- *Must* meet all of the objectives of this clause.
- *Should* meet all of the standards of this clause.

Objectives and Standard	Officer comments
<p>Clause 58.02-1 Urban context Objectives To ensure that the design responds to the existing urban context or contributes to the preferred future development of the area. To ensure that development responds to the features of the site and the surrounding area.</p> <p>Standard D1 (cannot be varied) The design response <u>must</u> be appropriate to the urban context and the site. The proposed design <u>must</u> respect the existing or preferred urban context and respond to the features of the site.</p> <p>Decision guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – Any relevant urban design objective, policy or statement set out in this scheme. – The urban context report. – The design response 	<p>Objection – Met</p> <p>Standard – Met</p> <p>Throughout this report is it clearly demonstrated the proposed design response contributes positively the site and surrounds urban context, and strongly aligns with the relevant built form environment planning and local policies objectives.</p>
<p>Clause 58.02-2 Residential Policy Objective To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. To support higher density residential development where development can take advantage of public and community infrastructure and services.</p>	<p>Objection – Met</p> <p>Standard – Met</p> <p>The proposal responds to the objectives and strategies of residential development within established well serviced urban environments consistent with the future housing direction.</p>

<p>Standard D2 (cannot be varied) An application <u>must</u> be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.</p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – The State Planning Policy Framework and the Local Planning Policy Framework including the Municipal Strategic Statement and local planning policies. – The design response. 	
<p>Clause 58.02-3 Dwelling Diversity Objective To encourage a range of dwelling sizes and types in developments of ten or more dwellings.</p> <p>Standard D3 (can be varied) Developments of ten or more dwellings <u>should</u> provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms.</p>	<p>N/A The development provides less than 10 dwellings.</p>
<p>Clause 58.02-4 Infrastructure Objective To ensure development is provided with appropriate utility services and infrastructure. To ensure development does not unreasonably overload the capacity of utility services and infrastructure.</p> <p>Standard D4 (can be varied) Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure</p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p>	<p>Objection – Met Standard – Met</p> <p>It is expected standard engineering and drainage conditions to be included on any permit issued. Given that the site is located within an established urban area, reticulated services are readily available.</p>

<ul style="list-style-type: none"> – The capacity of the existing infrastructure. – In the absence of reticulated sewerage, the capacity of the development to treat and retain all wastewater in accordance with the State Environment Protection Policy (Waters of Victoria) under the Environment Protection Act 1970. – If the drainage system has little or no spare capacity, the capacity of the development to provide for stormwater drainage mitigation or upgrading of the local drainage system. 	
<p>Clause 58.02-5 Integration with the street Objective To integrate the layout of the development with the street</p> <p>Standard D5 (can be varied) Developments <u>should</u> provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Development <u>should</u> be oriented to front existing and proposed streets. High fencing in front of dwellings <u>should</u> be avoided if practicable. Development next to existing public open space <u>should</u> be laid out to complement the open space.</p> <p>Decision Guidelines Before decision on an application, the responsible authority <u>must</u> consider:</p> <ul style="list-style-type: none"> – Any relevant urban design objective, policy or statement set out in this scheme. – The design response. 	<p>Objection – Met Standard – Met</p> <p>The proposal provides adequate scaled windows and door openings on its two public interfaces. Both retail premises are clearly provided their separate entrances and identification.</p> <p>The dwellings entrance is provided a clear purposeful shelter distinguished from the remaining shelter running along the laneway, a wide door and wide windows. Distinguishing a entrance gives the Dwellings a sense of address. Pedestrian links around the building are present.</p> <p>There is no public open space adjoining.</p>
<p>Clause 58.03-1 Energy Efficiency Objective To achieve and protect energy efficient dwellings and buildings. To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy. To ensure dwellings achieve adequate thermal efficiency.</p> <p>Standard D6 (can be varied) Buildings should be:</p> <ul style="list-style-type: none"> – Oriented to make appropriate use of solar energy. 	<p>Objection – Met Standard – Met</p> <p>The dwellings layout and orientation can be benefit of on achieving a good solar access to main living areas.</p> <p>Dwelling 1 and 2 take benefit of northern aspect into their respective main living areas.</p> <p>Dwelling 3 is south facing, and whilst this is unfavourable, the main living area is given the dual aspect from the southern and north side central internal</p>

<ul style="list-style-type: none"> – Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. <p>Living areas and private open space should be located on the north side of the development, if practicable.</p> <p>Developments should be designed so that solar access to north-facing windows is optimised.</p> <p>Dwellings located in a climate zone identified in Table D1 should not exceed the maximum NatHERS annual cooling load specified in the following table.</p> <p>Table D1 Cooling Load = Climate Zone 21 Melbourne = 30MJ/M²</p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – The design response. – The size, orientation and layout of the site. – The existing amount of solar access to abutting properties – The availability of solar access to north-facing windows on the site. – The annual cooling load for each dwelling. 	<p>lightwell and is not hinder by adjoining side and rear buildings.</p> <p>Each dwelling is designed to achieve a minimum 6 Star energy ratings and a max. cooling load of 30 Mj/m².</p> <p>The proposed building achieves an appropriate response to thermal efficiency detailed in their supported Sustainable Environment Assessment</p> <p>There no adjoining dwellings impacted by this proposal.</p>
<p>Clause 58.03-2 Communal Open Space Objective</p> <p>To ensure that communal open space is accessible, practical, attractive, easily maintained and integrated with the layout of the development.</p> <p>Standard D7 (can be varied) Developments with 40 or more dwellings <u>should</u> provide a minimum area of communal open space of 2.5 square metres per dwelling or 250 square metres, whichever is lesser.</p> <p>Communal open space <u>should</u>:</p> <ul style="list-style-type: none"> – Be located to: <ul style="list-style-type: none"> – Provide passive surveillance opportunities, where appropriate. – Provide outlook for as many dwellings as practicable. – Avoid overlooking into habitable rooms and private open space of new dwellings. – Minimise noise impacts to new and existing dwellings. 	<p>N/A</p>

<ul style="list-style-type: none"> – Be designed to protect any natural features on the site. – Maximise landscaping opportunities. – Be accessible, useable and capable of efficient management. <p>Decision Guidelines Before deciding on an application, the responsible authority <u>must</u> consider:</p> <ul style="list-style-type: none"> – Any relevant urban design objective, policy or statement set out in this scheme. – The design response. – The useability and amenity of the communal open space based on its size, location, accessibility and reasonable recreation needs of residents. – The availability of and access to public open space. 	
<p>Clause 58.03-3 Solar Access to Communal Outdoor Open Space Objective To allow solar access into communal outdoor open space.</p> <p>Standard D8 (can be varied) The communal outdoor open space should be located on the north side of a building, if appropriate. At least 50 per cent or 125 square metres, whichever is the lesser, of the primary communal outdoor open space should receive a minimum of two hours of sunlight between 9am and 3pm on 21 June.</p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – The design response. – The useability and amenity of the primary communal outdoor open space areas based on the urban context, the orientation of the building, the layout of dwellings and the sunlight it will receive. 	<p>N/A</p>
<p>Clause 58.03-4 Safety Objective To ensure the layout of development provides for the safety and security of residents and property.</p> <p>Standard D9 (can be varied)</p>	<p>Objection – Met Standard – Met</p>

<p>Entrances to dwellings <u>should</u> not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways <u>should</u> be avoided. Developments <u>should</u> be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments <u>should</u> be protected from inappropriate use as public thoroughfares.</p> <p>Decision Guidelines Before deciding on an application, the responsible authority <u>must</u> consider the design response.</p>	<p>The entrances to the dwellings are adequately visible from the streetscape and laneway.</p> <p>The development is designed to provide good lighting, visibility, and Dwelling 3 faces to the rear would have passive surveillance over to the rear car parking on the adjoining lot.</p> <p>The private open space within the development is protected from inappropriate use as a public thoroughfare and located on upper levels. Fronting dwelling has ground floor habitable room widows facing the street, providing two-way passive surveillance.</p>
<p>Clause 58.03-5 Landscape Objective To encourage development that respects the landscape character of the area. To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance. To provide appropriate landscaping. To encourage the retention of mature vegetation on the site. To promote climate responsive landscape design and water management in developments that support thermal comfort and reduces the urban heat island effect.</p> <p>Standard D10 (can be varied) The landscape layout and design <u>should</u>:</p> <ul style="list-style-type: none"> – Be responsive to the site context. – Protect any predominant landscape features of the area. – Take into account the soil type and drainage patterns of the site and integrate planting and water management. – Allow for intended vegetation growth and structural protection of buildings. – In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. – Provide a safe, attractive and functional environment for residents. – Consider landscaping opportunities to reduce heat absorption such as green walls, green roofs and roof top gardens and improve on-site storm water infiltration. 	<p>Objection – Met Standard – Met</p> <p>Landscaping is not applicable for this site.</p> <p>Introduction of water taps and waste traps on each balcony area will encourages plants to be grown on site as alternatively to ground or roof top garden options.</p> <p>The introduction of a green roof to rear of the site, requires a level of detail in the planting. This can be secured by a permit condition.</p>

- Maximise deep soil areas for planting of canopy trees.

Development should provide for the retention or planting of trees, where these are part of the urban context. Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. The landscape design should specify landscape themes, vegetation (location and species), paving and lighting. Development should provide the deep soil areas and canopy trees specified in Table D2. If the development cannot provide the deep soil areas and canopy trees specified in Table D2, an equivalent canopy cover should be achieved by providing either:

- Canopy trees or climbers (over a pergola) with planter pits sized appropriately for the mature tree soil volume requirements.
- Vegetated planters, green roofs or green facades.

Site area	Deep soil area	Minimum tree provision
750-1000sq m	5% of site area (minimum dimension of 3 metres)	1 small tree (6-8m) per square metres of deep soil
1001-1500sq m	7.5% of site area (minimum dimension of 3 metres)	1 medium tree (8-12 metres) per 50 square metres of deep soil Or 1 large tree per 90 square metres of deep soil
1501-2500sq m	10% of site area (minimum dimension of 6 metres)	1 large tree (at least 12 metres) per 90 square metres of deep soil Or 2 medium trees per 90 square metres of deep soil
>2500sq m	15% of site area (minimum dimension of 6 metres)	1 large tree (at least 12 metres) per 90 square metres of deep soil Or

		2 medium trees per 90 square metres of deep soil	
<p><i>Note - Where an existing canopy tree over 8 metres can be retained on a lot greater than 1000 square metres without damage during the construction period, the minimum deep soil requirement is 7% of the site area.</i></p> <p>Decision Guidelines Before deciding on an application, the responsible authority <u>must</u> consider:</p> <ul style="list-style-type: none"> - Any relevant plan or policy for landscape character and environmental sustainability in the State Planning Policy Framework and Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies. - The design response. - The location and size of gardens and the predominant plant types in the area. - The health of any trees to be removed. - The suitability of the proposed location and soil volume for canopy trees. - The ongoing management of landscaping within the development. - The soil type and drainage patterns of the site. 			<p>Objection – Met Standard – Met</p> <p>Pedestrian only access to the dwelling via Council owned laneway</p>
<p>Clause 58.03-6 Access Objective To ensure the number and design of vehicle crossovers respects the urban context.</p> <p>Standard D11 (can be varied) The width of accessways or car spaces <u>should</u> not exceed:</p> <ul style="list-style-type: none"> - 33 per cent of the street frontage, or - if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover <u>should</u> be provided for each dwelling fronting a street. The location of crossovers <u>should</u> maximise the retention of on-street car parking spaces. The number of access points to a road in a Road Zone <u>should</u> be minimised. Developments <u>must</u> provide for access for service, emergency and delivery vehicles.</p>			

<p>Decision Guidelines Before deciding on an application, the responsible authority <u>must</u> consider:</p> <ul style="list-style-type: none"> – The design response. – The impact on the streetscape. – The reduction of on-street car parking spaces. – The effect on any significant vegetation on the site and footpath. 	
<p>Clause 58.03-7 Parking Location Objective To provide convenient parking for resident and visitor vehicles. To protect residents from vehicular noise within developments.</p> <p>Standard D12 (can be varied) Car parking facilities should:</p> <ul style="list-style-type: none"> – Be reasonably close and convenient to dwellings. – Be secure. – Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider the design response.</p>	<p>Objection – Met Standard – Met</p> <p>There is no vehicle parking on the site. Although the rear adjoining lot, commonly owned will continue in providing suitable carparking spaces for the site’s operation.</p>
<p>Clause 58.03-8 Integrated Water and Stormwater Management Objective To encourage the use of alternative water sources such as rainwater, stormwater and recycled water. To facilitate stormwater collection, utilisation and infiltration within the development. To encourage development that reduces the impact of stormwater run-off on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.</p> <p>Standard D13 (can be varied) Buildings should be designed to collect rainwater for non-drinking purposes such as flushing toilets, laundry appliances and garden use. Buildings should be connected to a non-potable dual pipe reticulated water supply, where available from the</p>	<p>Objection – Met Standard – Met</p> <p>The supported Environment Sustainable Assessment includes references to integrative stormwater management. Provisions for 3x 5500 inground Rainwater tanks to the rear common land are to be collecting storm water and connected to all toilets for flushing. There are also waste traps install on balconies. Both measures satisfy the Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999</p>

<p>water authority. The stormwater management system should be:</p> <ul style="list-style-type: none"> – Designed to meet the current best practice performance objectives for stormwater quality as contained in the <i>Urban Stormwater – Best Practice Environmental Management Guidelines (Victorian Stormwater Committee 1999)</i>. – Designed to maximise infiltration of stormwater, water and drainage of residual flows into permeable surfaces, tree pits and treatment areas. <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – Any relevant water and stormwater management objective, policy or statement set out in this scheme. – The design response. – Whether the development has utilised water sources and/or incorporated water sensitive urban design. – Whether stormwater discharge from the site will adversely affect water quality entering the drainage system. – The capacity of the drainage network to accommodate additional stormwater. – Whether the stormwater treatment areas can be effectively maintained. – Whether the owner has entered into an agreement to contribute to off-site stormwater management in lieu of providing an on-site stormwater management system. 	<p>The subject site has the capability to be connected to reticulated water supply system.</p>
<p>Clause 58.04-1 Building Setback Objective To ensure the setback of a building from a boundary appropriately responds to the existing urban context or contributes to the preferred future development of the area. To allow adequate daylight into new dwellings. To limit views into habitable room windows and private open space of new and existing dwellings. To provide a reasonable outlook from new dwellings. To ensure the building setbacks provide appropriate internal amenity to meet the needs of residents.</p> <p>Standard D14 (can be varied)</p>	<p>Objection – Met Standard – Met</p> <p>The building has zero setbacks, excluding the third level front setback is recessed of 3.70 metres. A generously sized central open air light well penetrates the building on all levels</p> <p>Several habitable room windows face on the light well, with capabilities of window openings. A 3.4 metre break in the building eastern and western wall</p>

<p>The built form of the development <u>must</u> respect the existing or preferred urban context and respond to the features of the site. Buildings <u>should</u> be set back from side and rear boundaries, and other buildings within the site to:</p> <ul style="list-style-type: none"> – Ensure adequate daylight into new habitable room windows. – Avoid direct views into habitable room windows and private open space of new and existing dwellings. Developments should avoid relying on screening to reduce views. – Provide an outlook from dwellings that creates a reasonable visual connection to the external environment. – Ensure the dwellings are designed to meet the objectives of Clause 58. <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> – The purpose of the zone and/or overlay that applies to the land. – Any relevant urban design objective, policy or statement set out in this scheme. – The urban context report. – The design response. – The relationship between the proposed building setback and the building setbacks of existing adjacent buildings, including the interface with laneways. – The extent to which the proposed dwellings are provided with reasonable daylight access through the layout of rooms and the number, size, location and orientation of windows. – The impact of overlooking on the amenity of existing and proposed dwellings. – The existing extent of overlooking into existing dwellings and private open space. – Whether the development meets the objectives of Clause 58. 	<p>allows solar access into the light well, on top open aired non-roofed above.</p> <p>There is adequate daylight into new habitable room windows.</p> <p>There are no direct views into habitable room windows and private open space of new and existing dwellings.</p> <p>There is common use of ‘highlight’ windows for Dwelling 2 – bed 1 and 2 and Dwelling 3 Bed 1 which all face into open aired light well.</p> <p>There is reasonable visual connection to external environment with each dwelling main living area having long ranges views to either Maroondah Highway commercial area or Symons Street Residential area.</p>
<p>Clause 58.04-2 (Internal Views) Objective To limit views into the private open space and habitable room windows of dwellings within a development.</p> <p>Standard D15 (can be varied)</p>	<p>Objection – Met Standard – Met</p> <p>There is common use of ‘highlight’ windows for Dwelling 2 – bed 1 and 2 and Dwelling 3 Bed 1 which all face into open aired light well.</p>

<p>Windows and balconies <u>should</u> be designed to prevent overlooking of more than 50 per cent of the private open space of a lower-level dwelling directly below and within the same development.</p> <p>Decision Guidelines Before deciding on an application, the responsible authority <u>must</u> consider the design response.</p>	<p>Internal privacy screening around the periphery of Dwelling 3 internal patio would prevent internal views.</p>			
<p>Clause 58.04-3 (Noise) Objective To contain noise sources in developments that may affect existing dwellings.</p> <p>To protect residents from external and internal noise sources.</p> <p>Standard D16 (can be varied) Noise sources, such as mechanical plants should not be located near bedrooms of immediately adjacent existing dwellings. The layout of new dwellings and buildings should minimise noise transmission within the site. Noise sensitive rooms (such as living areas and bedrooms) should be located to avoid noise impacts from mechanical plants, lifts, building services, non-residential uses, car parking, communal areas and other dwellings. New dwellings should be designed and constructed to include acoustic attenuation measures to reduce noise levels from off-site noise sources. Buildings within a noise influence area specified in Table D3 should be designed and constructed to achieve the following noise levels:</p> <ul style="list-style-type: none"> – Not greater than 35dB(A) for bedrooms, assessed as an LAeq,8h from 10pm to 6am. – Not greater than 40dB(A) for living areas, assessed LAeq,16h from 6am to 10pm. <p>Buildings, or part of a building screened from a noise source by an existing solid structure, or the natural topography of the land, do not need to meet the specified noise level requirements. Noise levels should be assessed in unfurnished rooms with a finished floor and the windows closed.</p>	<p>Objection – Met Standard – Met – subject to condition</p> <p>The acoustic report submitted details a sufficient level of the measures to the reduce the external noise, albeit focused on the concept that of existing commercial uses and live music.</p> <p>Dwellings layouts are located above the commercial uses. The acoustic report provides good external noise measures. It also provides references to limiting of the amplified music in the commercial spaces as a measure to reduce internal noise transfer. The preferred method is to safeguard the dwellings amenity by requiring noise attenuation methods to minimise the noise transfer between commercial ceiling and dwelling floor. A condition requesting to include measure/s is recommended.</p>			
<p>Table D3 Noise Influence Area</p>				
<table border="1"> <tr> <th>Noise Source</th> <th>Noise Influence Area</th> </tr> </table>	Noise Source	Noise Influence Area	<table border="1"> <tr> <td></td> </tr> </table>	
Noise Source	Noise Influence Area			
<table border="1"> <tr> <th>Zone Interface</th> </tr> </table>	Zone Interface	<table border="1"> <tr> <td></td> </tr> </table>		
Zone Interface				

Industry	300 metres from the Industrial 1, 2 and 3 zone boundary
Roads	
Freeways, tollways and other roads carrying 40,000 Annual Average Daily Traffic Volume	300 metres from the nearest trafficable lane
Railways	
Railway servicing passengers in Victoria	80 metres from the centre of the nearest track
Railway servicing freight outside Metropolitan Melbourne	80 metres from the centre of the nearest track
Railway servicing freight in Metropolitan Melbourne	135 metres from the centre of the nearest track
<p><i>Note - The noise influence area should be measured from the closest part of the building to the noise source.</i></p> <p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> - The design response. - Whether it can be demonstrated that the design treatment incorporated into the development meets the specified noise levels or an acoustic report by a suitably qualified consultant submitted with the application. - Whether the impact of potential noise sources within a development have been mitigated through design, location and siting. - Whether the layout of rooms within a dwelling mitigates noise transfer within and between dwellings. - Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context. 	

<p>Clause 58.04-4 (Wind impacts objective)</p> <p>To ensure the built form, design and layout of development does not generate unacceptable wind impacts within the site or on surrounding land.</p> <p>Standard D17</p> <p>Development of five or more storeys, excluding a basement should:</p> <ul style="list-style-type: none">• not cause unsafe wind conditions specified in Table D6 in public land, publicly accessible areas on private land, private open space and communal open space; and• achieve comfortable wind conditions specified in Table D6 in public land and publicly accessible areas on private land <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none">• The urban context report.• The design response.• The safety, functionality and amenity of public, private and communal open space areas.• Whether it has been demonstrated by a suitably qualified specialist that the development will not generate unacceptable wind impacts within the site or on surrounding land.	<p>N/A</p> <p>The proposal is for three (3) storey</p> <p>Provision is not applicable.</p>
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<p>Clause 58.04-5 (Accessibility objective)</p> <p>To ensure the design of dwellings meets the needs of people with limited mobility.</p> <p>Standard D18</p> <p>At least 50 per cent of dwellings should have:</p> <ul style="list-style-type: none"> • A clear opening width of at least 850mm at the entrance to the dwelling and main bedroom. • A clear path with a minimum width of 1.2 metres that connects the dwelling entrance to the main bedroom, an adaptable bathroom and the living area. • A main bedroom with access to an adaptable bathroom. • At least one adaptable bathroom that meets all of the requirements of either Design A or Design B specified in Table D7. 	<p>Objection – Met Standard – Met – subject to condition</p> <p>All dwellings are fitted with clear path 1.2 metre entrance connected to main dwelling, and at least 1 bedroom with 850mm wide opening.</p> <p>All bedrooms have access to the only adaptable bathroom.</p> <p>Design option A is applied to all bathrooms. A condition to include a notation that all bathrooms shower must be design with ‘<i>A hobless (step-free) shower</i>’ to meeting Design standard A</p> <p>A lift access to all dwellings is offered.</p>	
<p>Decision Guidelines Before deciding on an application, the responsible authority must consider:</p>		
<p style="text-align: center;">Table D7 Bathroom design</p>		
	<p style="text-align: center;">Design option A</p>	<p style="text-align: center;">Design option B</p>
<p style="text-align: center;">Door opening</p>	<p>A clear 850mm wide door opening.</p>	<p>A clear 820mm wide door opening located opposite the shower.</p>
<p style="text-align: center;">Door design</p>	<p>Either: A slide door, or A door that opens outwards, or A door that opens inwards that is clear of the circulation area and has readily removable hinges.</p>	<p>Either: A slide door, or A door that opens outwards, or A door that opens inwards and has readily removable hinges.</p>

Circulation area	<p>A clear circulation area that is: A minimum area of 1.2 metres by 1.2 metres.</p> <p>Located in front of the shower and the toilet.</p> <p>Clear of the toilet, basin and the door swing. The circulation area for the toilet and shower can overlap.</p>	<p>A clear circulation area that is: A minimum width of 1 metre.</p> <p>The full length of the bathroom and a minimum length of 2.7 metres. Clear of the toilet and basin.</p> <p>The circulation area can include a shower area.</p>		
Path to circulation area	A clear path with a minimum width of 900mm from the door opening to the circulation area.	Not applicable.		
Shower	A hobless (step-free) shower.	A hobless (step-free) shower that has a removable shower screen and is located on the furthest wall from the door opening.		
Toilet	A toilet located in the corner of the room.	A toilet located closest to the door opening and clear of the circulation area.		

<p>Clause 58.05-2 (Building entry and circulation objectives)</p> <p>To provide each dwelling and building with its own sense of identity.</p> <p>To ensure the internal layout of buildings provide for the safe, functional and efficient movement of residents.</p> <p>To ensure internal communal areas provide adequate access to daylight and natural ventilation.</p> <p>Standard D18</p> <p>Entries to dwellings and buildings should:</p> <ul style="list-style-type: none"> • Be visible and easily identifiable. • Provide shelter, a sense of personal address and a transitional space around the entry. <p>The layout and design of buildings should:</p> <ul style="list-style-type: none"> • Clearly distinguish entrances to residential and non-residential areas. • Provide windows to building entrances and lift areas. • Provide visible, safe and attractive stairs from the entry level to encourage use by residents. • Provide common areas and corridors that: <ul style="list-style-type: none"> ○ Include at least one source of natural light and natural ventilation. ○ Avoid obstruction from building services. ○ Maintain clear sight lines. <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • The design response. • The useability and amenity of internal communal areas based on daylight access and the natural ventilation it will receive. 	<p>Objection – Met</p> <p>Standard – Met</p> <p>Dwelling entry is visible and easily identifiable.</p> <p>Dwelling entry is provided with shelter, a sense of personal address and a transitional space around the entry.</p> <p>Supplied visible, safe and attractive stairs from the entry level. A lift is also offered.</p> <p>Windows into the common entry area are supplied for natural light and natural ventilation.</p>
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<p>Clause 58.05-3 (Private open space objective)</p> <p>To provide adequate private open space for the reasonable recreation and service needs of residents.</p> <p>Standard D20</p> <p>A dwelling should have private open space consisting of at least one of the following:</p> <ul style="list-style-type: none"> • An area at ground level of at least 25 square metres, with a minimum dimension of 3 metres and convenient access from a living room. • A balcony with at least the area and dimensions specified in Table D8 and convenient access from a living room. • An area on a podium or other similar base of at least 15 square metres, with a minimum dimension of 3 metres and convenient access from a living room. • An area on a roof of 10 square metres, with a minimum dimension of 2 metres and convenient access from a living room. <p>If a cooling or heating unit is located on a balcony, the minimum balcony area specified in Table D8 should be increased by at least 1.5 square metres.</p> <p>If the finished floor level of a dwelling is 40 metres or more above ground level, the requirements of Table D8 do not apply if at least the area specified in Table D9 is provided as living area or bedroom area in addition to the minimum area specified in Table D11 or Table D12 in Standard D25.</p> <table border="1" data-bbox="204 1626 879 1998"> <thead> <tr> <th colspan="4">Table D8 Balcony size</th> </tr> <tr> <th>Orientation of dwelling</th> <th>Dwelling type</th> <th>Minimum area</th> <th>Minimum dimension</th> </tr> </thead> <tbody> <tr> <td>North (between north 20 degrees west to north 30)</td> <td>All</td> <td>8 square metres</td> <td>1.7 metres</td> </tr> </tbody> </table>	Table D8 Balcony size				Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension	North (between north 20 degrees west to north 30)	All	8 square metres	1.7 metres	<p>Objection – Met</p> <p>Standard – Met</p> <p>All dwellings are provided with secluded private balconies of minimum dimensions and squared area accessed from the main living area meeting Table D8 Balcony size. All dwellings exceed in this sqm offering.</p> <p>Balconies are useable and functional.</p> <p>No cooling or heating unit are placed on balconies.</p>
Table D8 Balcony size													
Orientation of dwelling	Dwelling type	Minimum area	Minimum dimension										
North (between north 20 degrees west to north 30)	All	8 square metres	1.7 metres										

degrees east)				
South (between south 30 degrees west to south 30 degrees east)	All	8 square metres	1.2 metres	
Any other orientation	Studio or 1 bedroom dwelling	8 square metres	1.8 metres	
	2 bedroom dwelling	8 square metres	2 metres	
	3 or more bedroom dwelling	12 square metres	2.4 metres	
Table D9 Additional living area or bedroom area				
Dwelling type		Additional area		
Studio or 1 bedroom dwelling		8 square metres		
2 bedroom dwelling		8 square metres		
3 or more bedroom dwelling		12 square metres		
Decision Guidelines				
Before deciding on an application, the responsible authority must consider:				
<ul style="list-style-type: none"> • The design response. • The useability and functionality of the private open space, including its size and accessibility. • The amenity of the private open space based on the orientation of the lot, noise 				

<p>exposure, the wind conditions and the sunlight it will receive.</p> <ul style="list-style-type: none">• The availability of and access to public or communal open space.• The useability and functionality of any additional living area or bedroom area, including its size and layout.	
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<p>Clause 58.05-5 (Storage objective)</p> <p>To provide adequate storage facilities for each dwelling.</p> <p>Standard D21</p> <p>Each dwelling should have convenient access to usable and secure storage space.</p> <p>The total minimum storage space (including kitchen, bathroom and bedroom storage) should meet the requirements specified in Table D10.</p> <table border="1" data-bbox="204 712 815 1332"> <thead> <tr> <th colspan="3">Table D10 Storage</th> </tr> <tr> <th>Dwelling type</th> <th>Total minimum storage volume</th> <th>Minimum storage volume within the dwelling</th> </tr> </thead> <tbody> <tr> <td>Studio</td> <td>8 cubic metres</td> <td>5 cubic metres</td> </tr> <tr> <td>1 bedroom dwelling</td> <td>10 cubic metres</td> <td>6 cubic metres</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>14 cubic metres</td> <td>9 cubic metres</td> </tr> <tr> <td>3 or more bedroom dwelling</td> <td>18 cubic metres</td> <td>12 cubic metres</td> </tr> </tbody> </table> <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • The design response. • The useability, functionality and location of storage facilities provided for the dwelling 	Table D10 Storage			Dwelling type	Total minimum storage volume	Minimum storage volume within the dwelling	Studio	8 cubic metres	5 cubic metres	1 bedroom dwelling	10 cubic metres	6 cubic metres	2 bedroom dwelling	14 cubic metres	9 cubic metres	3 or more bedroom dwelling	18 cubic metres	12 cubic metres	<p>Objection – Met Standard – Met – subject to condition</p> <p>This is often a very challenging requirement to meet, as Planning Development Plans usually do not include this level of detail. Is industry accepted to include a notation to this effect. Recommend a condition on permit.</p> <table border="1" data-bbox="959 636 1517 712"> <tr> <td>2 bedroom dwelling</td> <td>14 cubic metres</td> <td>9 cubic metres</td> </tr> </table>	2 bedroom dwelling	14 cubic metres	9 cubic metres
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<p>Clause 58.06-1 (Common property objective)</p> <p>To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.</p>	<p>Objection – Met Standard – Met</p> <p>Access areas and site facilities are practical, attractive and easily maintained.</p>																					

<p>To avoid future management difficulties in areas of common ownership.</p> <p>Standard D22</p> <p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	<p>A lot of services (ex fire hydrant) are available along laneway and are easily accessible for maintenance.</p>
<p>Clause 58.06-2 (Site services objectives)</p> <p>To ensure that site services are accessible and can be installed and maintained.</p> <p>To ensure that site services and facilities are visually integrated into the building design or landscape.</p> <p>Standard D23</p> <p>Development should provide adequate space (including easements where required) for site services to be installed and maintained efficiently and economically.</p> <p>Meters and utility services should be designed as an integrated component of the building or landscape.</p> <p>Mailboxes and other site facilities should be adequate in size, durable, water-protected, located for convenient access and integrated into the overall design of the development.</p> <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • Any relevant urban design objective, policy or statement set out in this scheme. • The design response. 	<p>Objection – Met Standard – Met</p> <p>Meters and utility services should be designed as an integrated component of the building. They are accessed along directly on Laneway or inside the communal entry.</p>

<p>Clause 58.06-3 (Waste and recycling objectives)</p> <p>To ensure dwellings are designed to encourage waste recycling.</p> <p>To ensure that waste and recycling facilities are accessible, adequate and attractive.</p> <p>To ensure that waste and recycling facilities are designed and managed to minimise impacts on residential amenity, health and the public realm.</p> <p>Standard D24</p> <p>Developments should include dedicated areas for:</p> <ul style="list-style-type: none"> • Waste and recycling enclosures which are: <ul style="list-style-type: none"> ○ Adequate in size, durable, waterproof and blend in with the development. ○ Adequately ventilated. ○ Located and designed for convenient access by residents and made easily accessible to people with limited mobility. • Adequate facilities for bin washing. These areas should be adequately ventilated. • Collection, separation and storage of waste and recyclables, including where appropriate opportunities for on-site management of food waste through composting or other waste recovery as appropriate. • Collection, storage and reuse of garden waste, including opportunities for on-site treatment, where appropriate, or off-site removal for reprocessing. • Adequate circulation to allow waste and recycling collection vehicles to enter and leave the site without reversing. • Adequate internal storage space within each dwelling to enable the separation of waste, recyclables and food waste where appropriate. <p>Waste and recycling management facilities should be designed and managed in accordance with a</p>	<p>Objection – Met Standard – Met</p> <p>Waste management bin storage area is integrated into the rear building and accessed via commonly owned carparking area.</p> <p>Facilities are accessible, adequate and attractive.</p> <p>A 4-waste stream bin service is supplied for each dwelling. Notably, bin enclosure requires a minor enlargement to advertised plans. Please is satisfied via a condition.</p> <p><i>Waste Management and Recycling in Multi-unit Developments</i> (Sustainability Victoria, 2019) – Met.</p>
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<p>Waste Management Plan approved by the responsible authority and:</p> <ul style="list-style-type: none"> • Be designed to meet the better practice design options specified in <i>Waste Management and Recycling in Multi-unit Developments</i> (Sustainability Victoria, 2019). • Protect public health and amenity of residents and adjoining premises from the impacts of odour, noise and hazards associated with waste collection vehicle movements. <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • The design response. • Any relevant waste and recycling objective, policy or statement set out in this scheme. 	
<p>Clause 58.06-4 (External walls and material objective)</p> <p>To ensure external walls use materials appropriate to the existing urban context or preferred future development of the area.</p> <p>To ensure external walls endure and retain their attractiveness.</p> <p>Standard D25</p> <p>External walls should be finished with materials that:</p> <ul style="list-style-type: none"> • Do not easily deteriorate or stain. • Weather well over time. • Are resilient to the wear and tear from their intended use. <p>External wall design should facilitate safe and convenient access for maintenance.</p> <p>Decision Guidelines</p>	<p>Objection – Met Standard – Met</p> <p>Material schedule is adequate. More information of material scheduled is documented several times throughout this report.</p>

<p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> Any relevant building design and urban design objective, policy or statement set out in this scheme. The urban context report. The design response. 																									
<p>Clause 58.07-1 (Functional layout objective)</p> <p>To ensure dwellings provide functional areas that meet the needs of residents.</p> <p>Standard D26</p> <p>Bedrooms should:</p> <ul style="list-style-type: none"> Meet the minimum internal room dimensions specified in Table D11. Provide an area in addition to the minimum internal room dimensions to accommodate a wardrobe. Living areas (excluding dining and kitchen areas) should meet the minimum internal room dimensions specified in Table D12. <table border="1" data-bbox="204 1261 823 1543"> <thead> <tr> <th colspan="3">Table D11 Bedroom dimensions</th> </tr> <tr> <th>Bedroom type</th> <th>Minimum width</th> <th>Minimum depth</th> </tr> </thead> <tbody> <tr> <td>Main bedroom</td> <td>3 metres</td> <td>3.4 metres</td> </tr> <tr> <td>All other bedrooms</td> <td>3 metres</td> <td>3 metres</td> </tr> </tbody> </table> <table border="1" data-bbox="204 1547 823 1912"> <thead> <tr> <th colspan="3">Table D12 Living area dimensions</th> </tr> <tr> <th>Dwelling type</th> <th>Minimum width</th> <th>Minimum area</th> </tr> </thead> <tbody> <tr> <td>Studio and 1 bedroom dwelling</td> <td>3.3 metres</td> <td>10 sqm</td> </tr> <tr> <td>2 or more bedroom dwelling</td> <td>3.6 metres</td> <td>12 sqm</td> </tr> </tbody> </table> <p>Decision Guidelines</p>	Table D11 Bedroom dimensions			Bedroom type	Minimum width	Minimum depth	Main bedroom	3 metres	3.4 metres	All other bedrooms	3 metres	3 metres	Table D12 Living area dimensions			Dwelling type	Minimum width	Minimum area	Studio and 1 bedroom dwelling	3.3 metres	10 sqm	2 or more bedroom dwelling	3.6 metres	12 sqm	<p>Objection – Met Standard – Met</p> <p>There is no main bedrooms, only bedrooms.</p> <p>All bedrooms exceed the minimum 3 metre x 3 metre area.</p> <p>Living areas exceed the minim width of 3.6 metres, a total of 12 sqm.</p> <p>Dwelling 1– 34.8 sqm with 5.28 width</p> <p>Dwelling 2– 12.54 sqm with 4.18 width (an additional reduced width area)</p> <p>Dwelling 3 – 4.48 sqm with 5.28 width</p>
Table D11 Bedroom dimensions																									
Bedroom type	Minimum width	Minimum depth																							
Main bedroom	3 metres	3.4 metres																							
All other bedrooms	3 metres	3 metres																							
Table D12 Living area dimensions																									
Dwelling type	Minimum width	Minimum area																							
Studio and 1 bedroom dwelling	3.3 metres	10 sqm																							
2 or more bedroom dwelling	3.6 metres	12 sqm																							

<p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • The design response. • The useability, functionality and amenity of habitable room 	
<p>Clause 58.07-2 (Room depth objective)</p> <p>To allow adequate daylight into single aspect habitable rooms.</p> <p>Standard D27</p> <p>Single aspect habitable rooms should not exceed a room depth of 2.5 times the ceiling height.</p> <p>The depth of a single aspect, open plan, habitable room may be increased to 9 metres if all the following requirements are met:</p> <ul style="list-style-type: none"> • The room combines the living area, dining area and kitchen. • The kitchen is located furthest from the window. • The ceiling height is at least 2.7 metres measured from finished floor level to finished ceiling level. This excludes where services are provided above the kitchen. <p>The room depth should be measured from the external surface of the habitable room window to the rear wall of the room.</p> <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> • The design response. • The extent to which the habitable room is provided with reasonable daylight access through the number, size, location and orientation of windows. • The useability, functionality and amenity of the dwelling based on layout, siting, size and orientation of habitable rooms. 	<p>Objection – Met Standard – Met</p> <p>Ceiling height are at least 2.7 metres, with proposed 3.0 metres ceiling height.</p> <p>Adequate daylight into single aspect habitable rooms.</p> <p>All depth of rooms are far less than 9 metres, measuring from one end to opposing end – with a window.</p> <p>All main living areas, combine the living area, dining area and kitchen</p>

<ul style="list-style-type: none"> Any overhang above habitable room windows that limits daylight access. 	
<p>Clause 58.07-3 (Windows objective)</p> <p>To allow adequate daylight into new habitable room windows.</p> <p>Standard D28</p> <p>Habitable rooms should have a window in an external wall of the building.</p> <p>A window may provide daylight to a bedroom from a smaller secondary area within the bedroom where the window is clear to the sky.</p> <p>The secondary area should be:</p> <ul style="list-style-type: none"> A minimum width of 1.2 metres. A maximum depth of 1.5 times the width, measured from the external surface of the window. <p>Decision Guidelines</p> <p>Before deciding on an application, the responsible authority must consider:</p> <ul style="list-style-type: none"> The design response. The extent to which the habitable room is provided with reasonable daylight access through the number, size, location and orientation of windows. The useability and amenity of the dwelling based on the layout, siting, size and orientation of habitable rooms. 	<p>Objection – Met Standard – variation</p> <p>All bedrooms are given adequately sized windows clear to the sky.</p> <p>For those habitable room windows facing the light well (ie secondary area) are 1.0 metre depth and 1.8 metres wide.</p> <p>Whilst the depth is correctly meeting the standard, there is shortfall of 200mm for the width. This is negligible and therefore acceptable.</p>
<p>Clause 58.07-3 (Natural Ventilation objectives)</p> <p>To encourage natural ventilation of dwellings</p> <p>To allow occupants to effectively manage natural ventilation of dwellings.</p>	<p>Objection – Met Standard – variation</p> <p>This is cross-ventilation opportunities in all dwelling.</p> <p>All dwelling meet the minimum 5 metre and 18 metre breeze path.</p>

Standard D29

The design and layout of dwellings should maximise openable windows, doors or other ventilation devices in external walls of the building, where appropriate.

At least 40 per cent of dwellings should provide effective cross ventilation that has:

- A maximum breeze path through the dwelling of 18 metres.
- A minimum breeze path through the dwelling of 5 metres.
- Ventilation openings with approximately the same area.

The breeze path is measured between the ventilation openings on different orientations of the dwelling.

Decision Guidelines

Before deciding on an application, the responsible authority must consider:

- The design response.
- The size, orientation, slope and wind exposure of the site.
- The extent to which the orientation of the building and the layout of dwellings maximises opportunities for cross ventilation.
- Whether an alternative design meets the relevant objectives having regard to the amenity of the dwelling and the site context.

DRAWINGS	
NO	SHEET
A01	PROPOSED SITE PLAN
A05	PROPOSED ROOFPLAN
A06	PROPOSED WEST ELEVATION
A07	PROPOSED EAST ELEVATION
A08	PROPOSED NORTH ELEVATION
A09	PROPOSED SOUTH ELEVATION
A10	PROPOSED SECTION A
A11	PROPOSED SECTION B
A12	PROPOSED SECTION C & D
A13	SOLAR SHADOWS
A30	DETAILS
E01	EXISTING SITE PLAN
E02	EXISTING & DEMOLITION FLOORPLAN
E03	EXISTING ELEVATIONS
E04	EXISTING ELEVATIONS

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organic architecture for environment, community and spirit

issued
 PLANNING APPLN 28/4/2022
NOT FOR CONSTRUCTION

DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
 COVER SHEET

sheet A 0 0
 scale @ A3
 date APR 2022
 drawn JN

This drawing must be read in conjunction with all other project documents, including the architects specification, and any architects instructions issued during the course of the contract. Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be used for construction unless indicated.



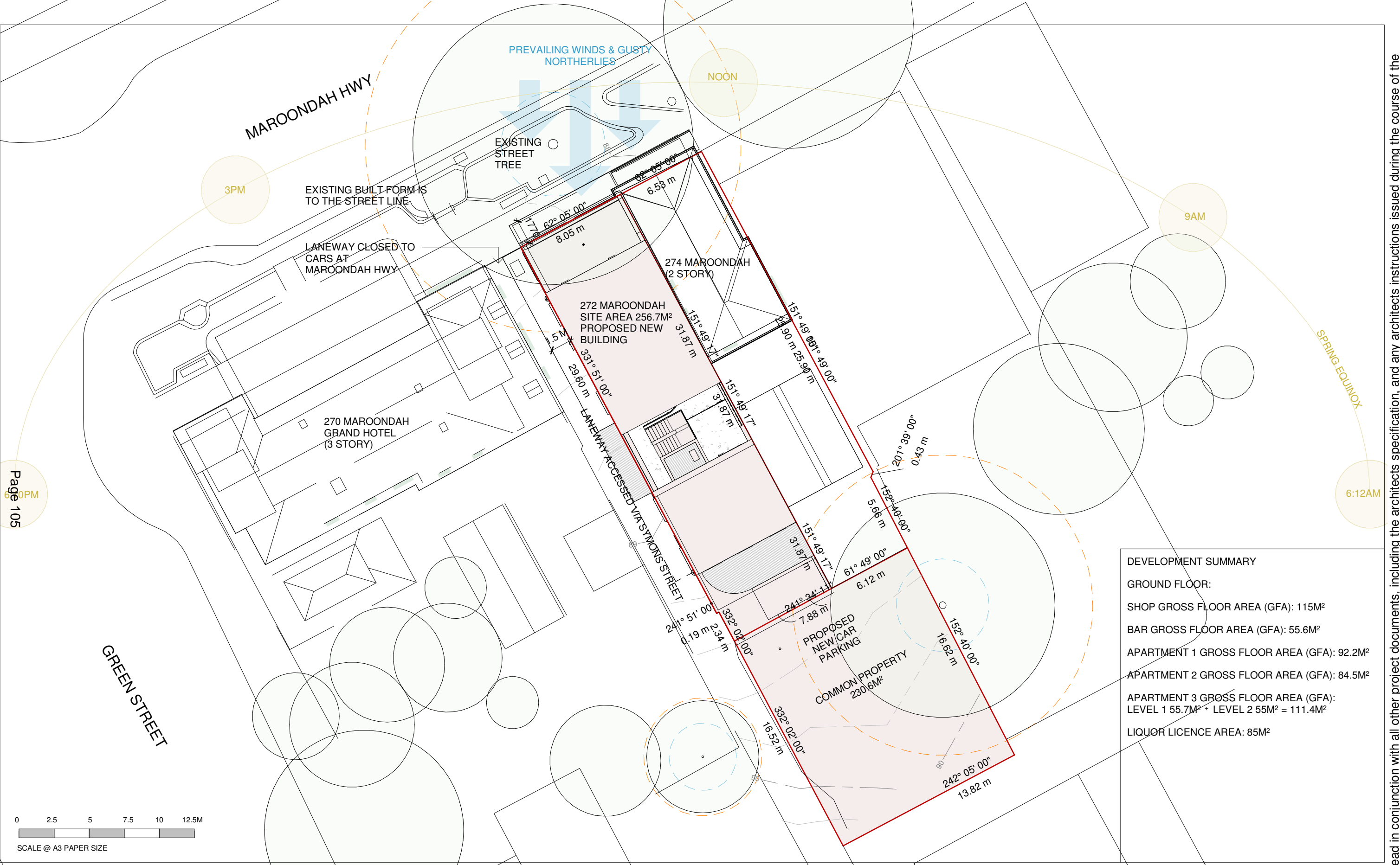
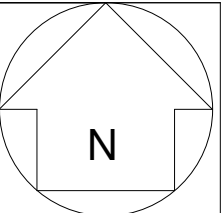
28/04/2022 3:24:22 PM

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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED SITE PLAN

sheet A 0 1
 scale @ A3 1 : 250
 date APR 2022
 drawn JN



DEVELOPMENT SUMMARY

GROUND FLOOR:

SHOP GROSS FLOOR AREA (GFA): 115M²

BAR GROSS FLOOR AREA (GFA): 55.6M²

APARTMENT 1 GROSS FLOOR AREA (GFA): 92.2M²

APARTMENT 2 GROSS FLOOR AREA (GFA): 84.5M²

APARTMENT 3 GROSS FLOOR AREA (GFA):
 LEVEL 1 55.7M² + LEVEL 2 55M² = 111.4M²

LIQUOR LICENCE AREA: 85M²

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ELECTRIC RETAIL HEATING & COOLING WITHIN 1 STAR OF MOST EFFICIENT AVAILABLE

RETAIL OUTDOOR AIR MIN 50% GREATER THAN AS1668.2:2012

NON-RESIDENTIAL RETAIL LIGHTING, LED TYPE, MAX ILLUMINATION POWER DENSITY OF 11.2W/M2

SUSTAINABILITY NOTES

EXTERNAL WALLS MIN R2.5 BULK INSULATIONS ADDED

ROOF MIN R2.5 BULK INSULATION ADDED

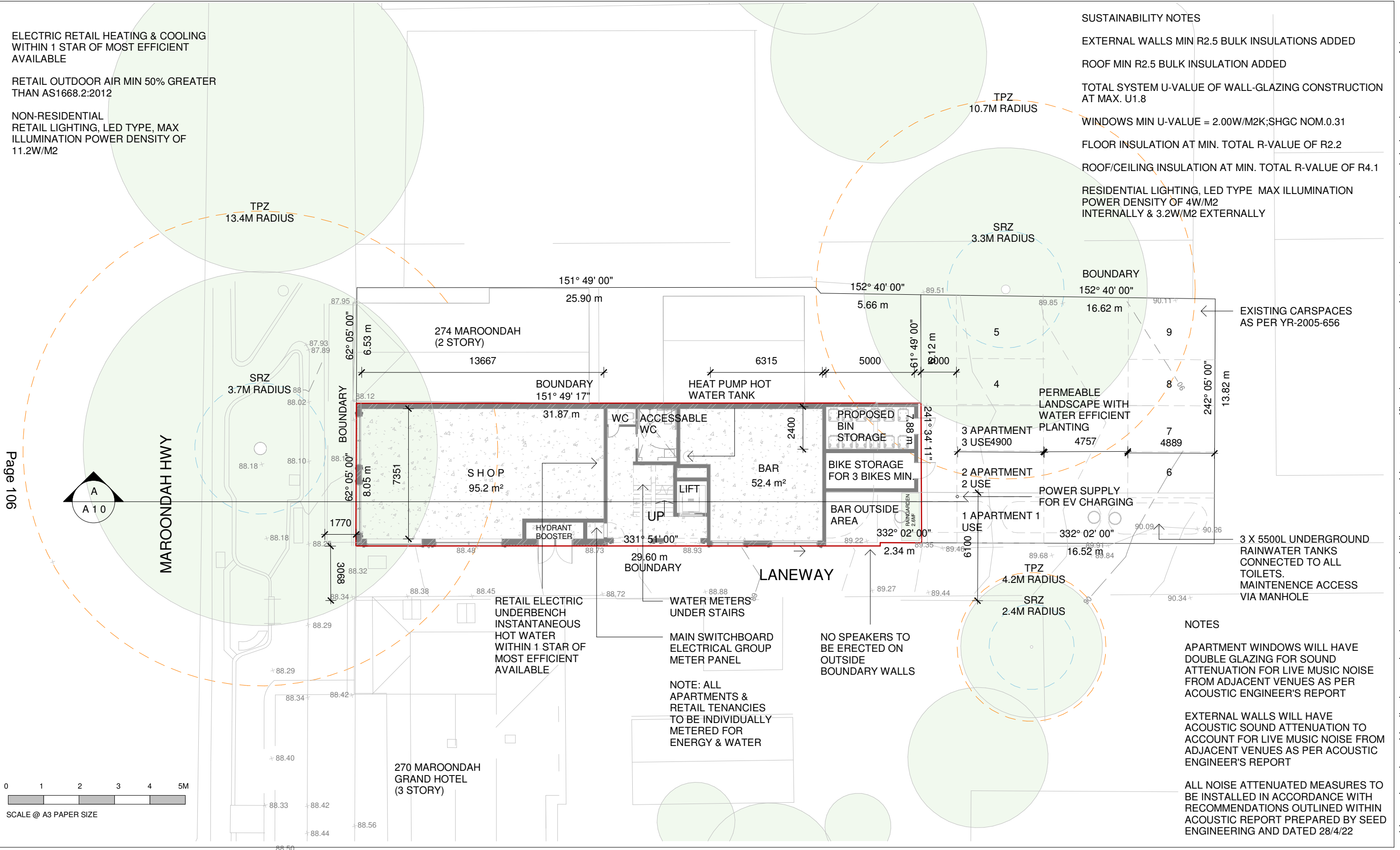
TOTAL SYSTEM U-VALUE OF WALL-GLAZING CONSTRUCTION AT MAX. U1.8

WINDOWS MIN U-VALUE = 2.00W/M2K;SHGC NOM.0.31

FLOOR INSULATION AT MIN. TOTAL R-VALUE OF R2.2

ROOF/CEILING INSULATION AT MIN. TOTAL R-VALUE OF R4.1

RESIDENTIAL LIGHTING, LED TYPE MAX ILLUMINATION POWER DENSITY OF 4W/M2 INTERNALLY & 3.2W/M2 EXTERNALLY



EXISTING CARSPACES AS PER YR-2005-656

3 X 5500L UNDERGROUND RAINWATER TANKS CONNECTED TO ALL TOILETS. MAINTENANCE ACCESS VIA MANHOLE

NOTES

APARTMENT WINDOWS WILL HAVE DOUBLE GLAZING FOR SOUND ATTENUATION FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT

EXTERNAL WALLS WILL HAVE ACOUSTIC SOUND ATTENUATION TO ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT

ALL NOISE ATTENUATED MEASURES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS OUTLINED WITHIN ACOUSTIC REPORT PREPARED BY SEED ENGINEERING AND DATED 28/4/22

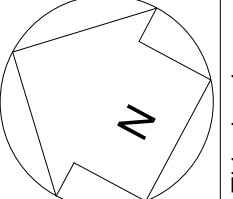


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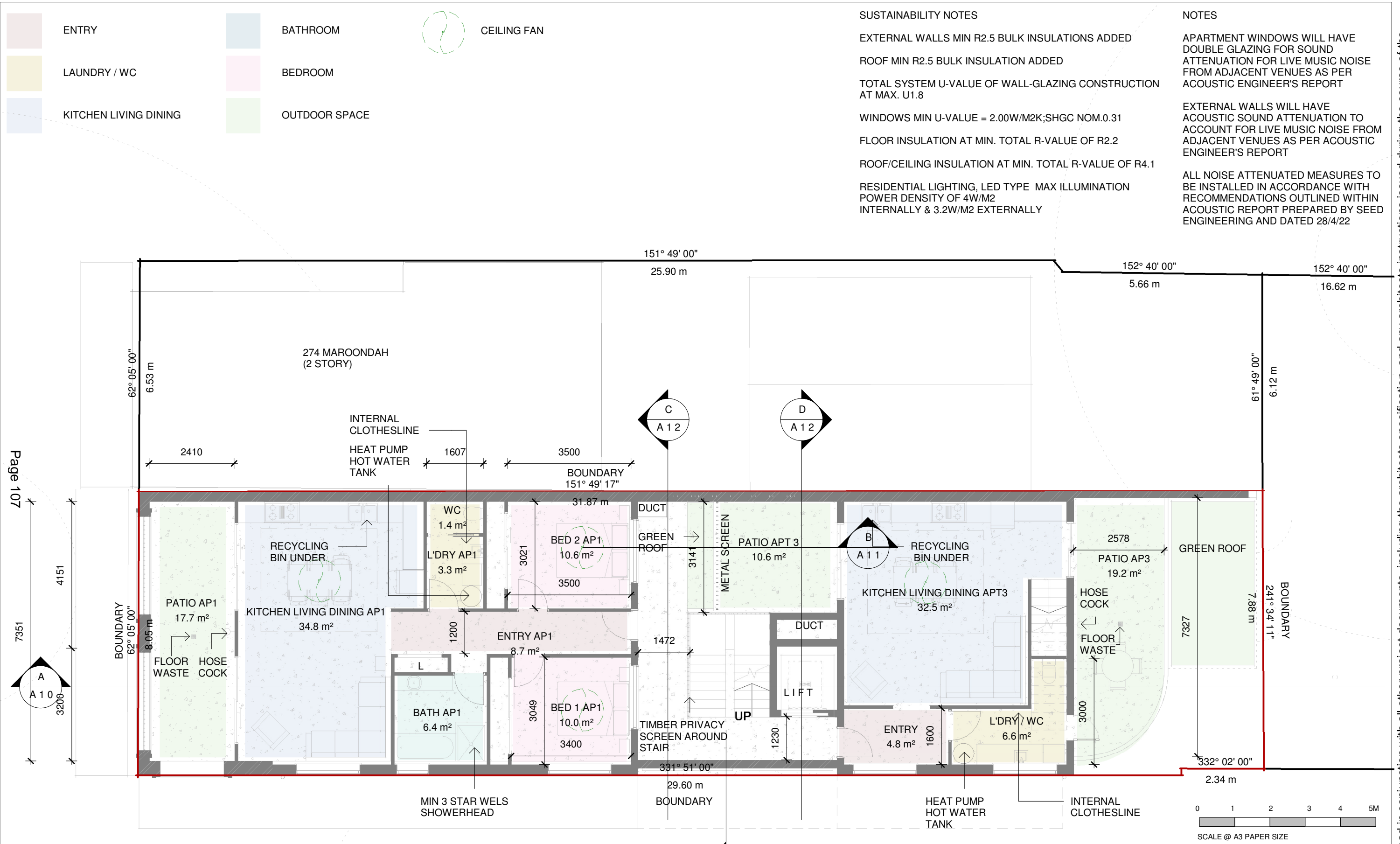
issued
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NOT FOR CONSTRUCTION

DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED GROUND FLOOR

sheet A 0 2
 scale @ A3 1 : 200
 date APR 20 22
 drawn JN



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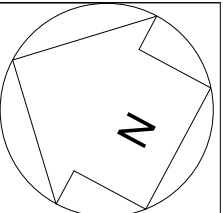


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PROPOSED LEVEL 1

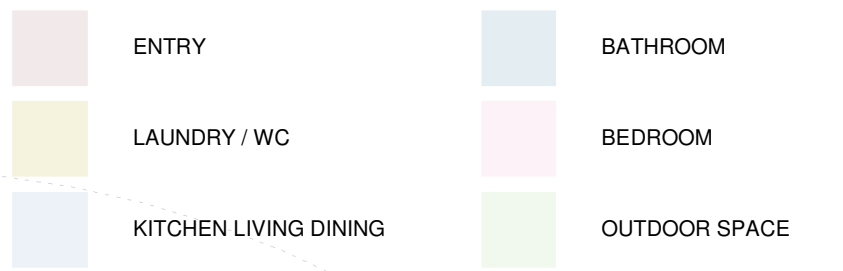
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 scale @ A3 **1 : 100**
 date **APR 2022**
 drawn **JN**



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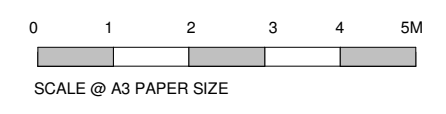
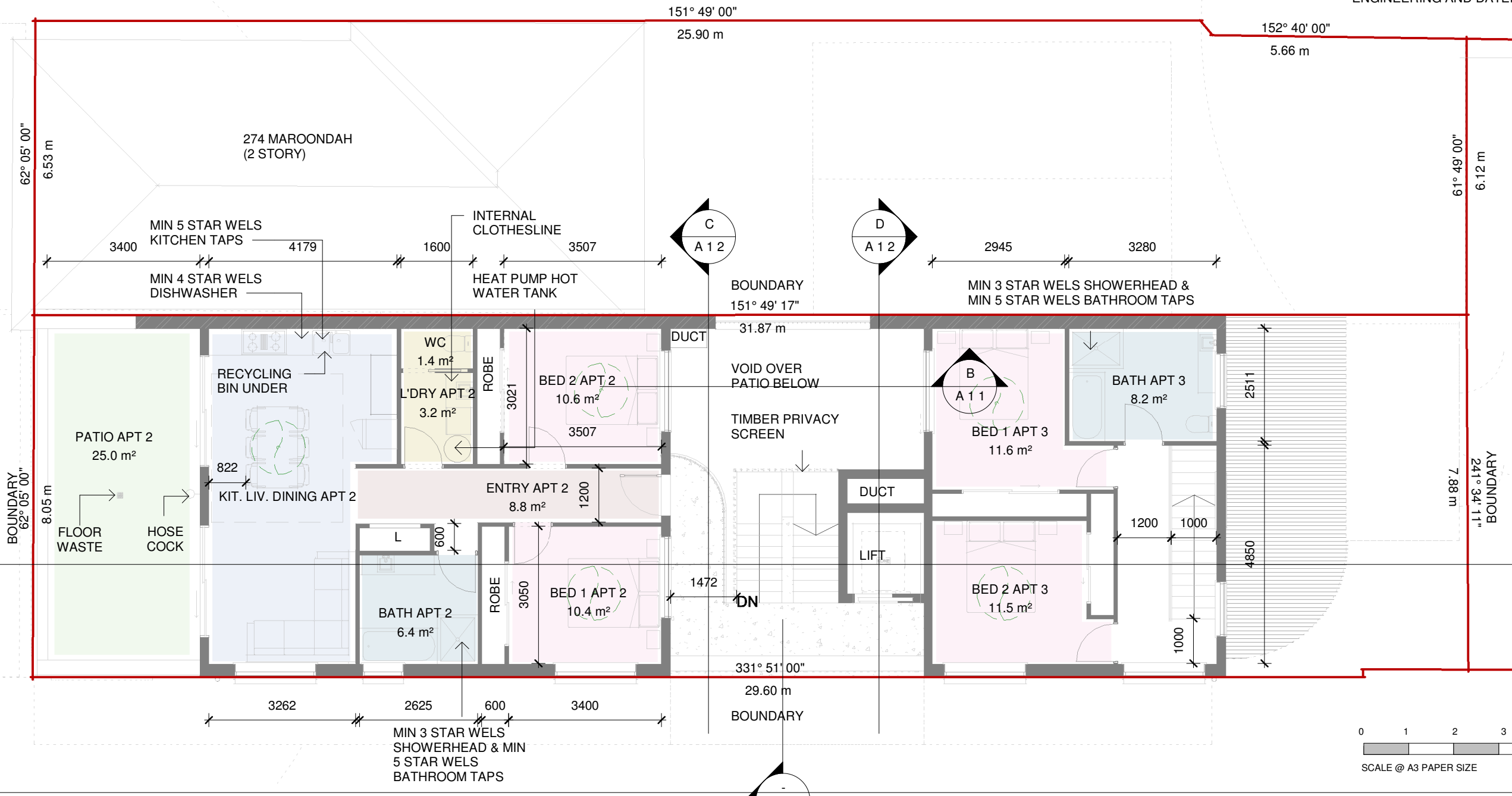
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- ROOF MIN R2.5 BULK INSULATION ADDED
- TOTAL SYSTEM U-VALUE OF WALL-GLAZING CONSTRUCTION AT MAX. U1.8
- WINDOWS MIN U-VALUE = 2.00W/M2K; SHGC NOM.0.31
- FLOOR INSULATION AT MIN. TOTAL R-VALUE OF R2.2
- ROOF/CEILING INSULATION AT MIN. TOTAL R-VALUE OF R4.1
- RESIDENTIAL LIGHTING, LED TYPE MAX ILLUMINATION POWER DENSITY OF 4W/M2 INTERNALLY & 3.2W/M2 EXTERNALLY

NOTES

- APARTMENT WINDOWS WILL HAVE DOUBLE GLAZING FOR SOUND ATTENUATION FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT
- EXTERNAL WALLS WILL HAVE ACOUSTIC SOUND ATTENUATION TO ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT
- ALL NOISE ATTENUATED MEASURES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS OUTLINED WITHIN ACOUSTIC REPORT PREPARED BY SEED ENGINEERING AND DATED 28/4/22

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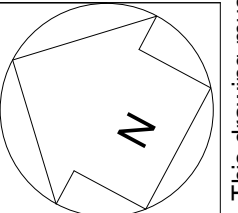
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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED LEVEL 2

sheet A 0 4
 scale @ A3 1 : 100
 date APR 20 22
 drawn JN



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R1 COLOURBOND "SHALE GREY"

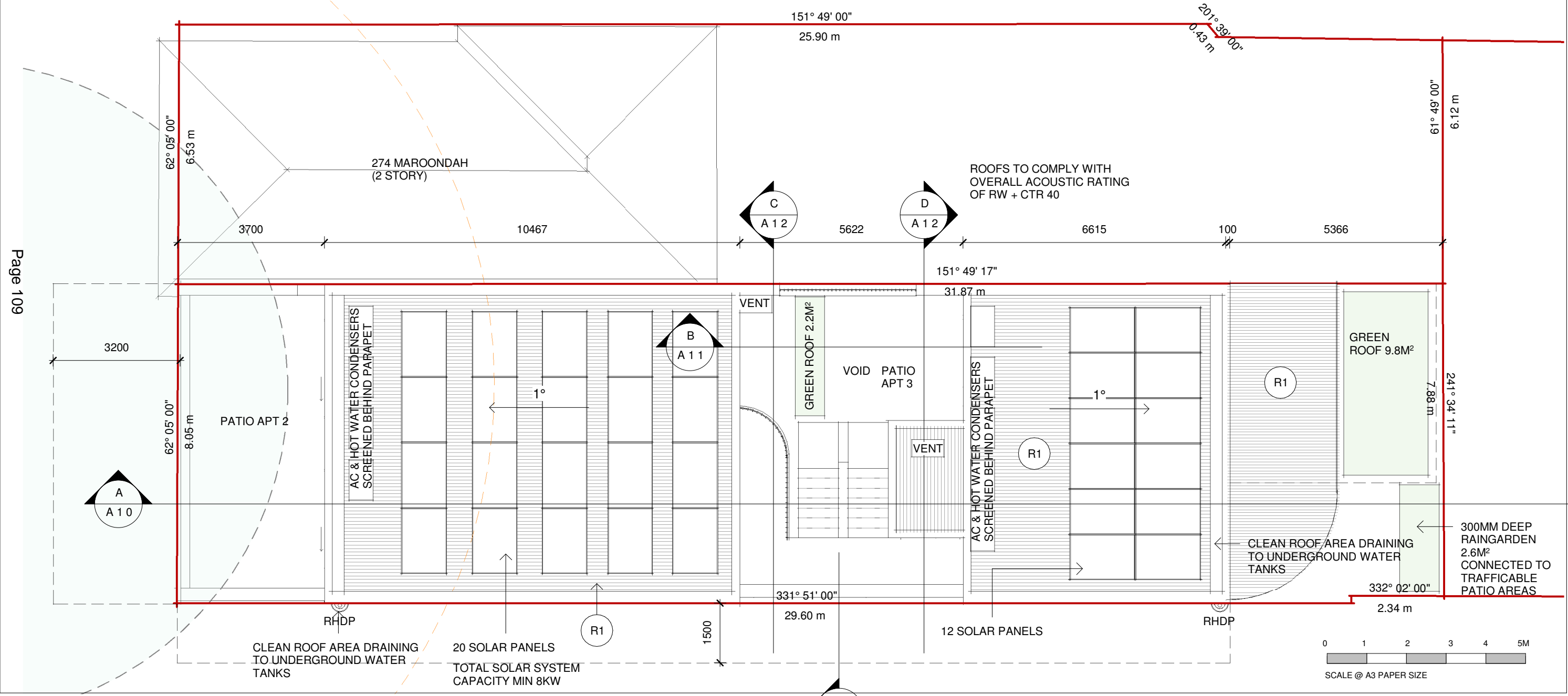
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- WINDOWS MIN U-VALUE = 2.00W/M2K; SHGC NOM.0.31
- FLOOR INSULATION AT MIN. TOTAL R-VALUE OF R2.2
- ROOF/CEILING INSULATION AT MIN. TOTAL R-VALUE OF R4.1
- RESIDENTIAL LIGHTING, LED TYPE MAX ILLUMINATION POWER DENSITY OF 4W/M2 INTERNALLY & 3.2W/M2 EXTERNALLY

NOTES

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- ALL NOISE ATTENUATED MEASURES TO BE INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS OUTLINED WITHIN ACOUSTIC REPORT PREPARED BY SEED ENGINEERING AND DATED 28/4/22

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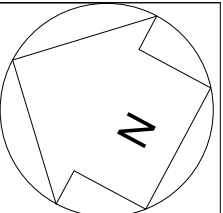
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DBF - SHOP
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PROPOSED ROOFPLAN

sheet A 0 5
 scale @ A3 1 : 100
 date APR 20 22
 drawn JN



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W1

CORTEN



WINDOW FRAME & FLASHING
COLOURBOND "GULLY GREY"



W2

RECYCLED RED BRICK

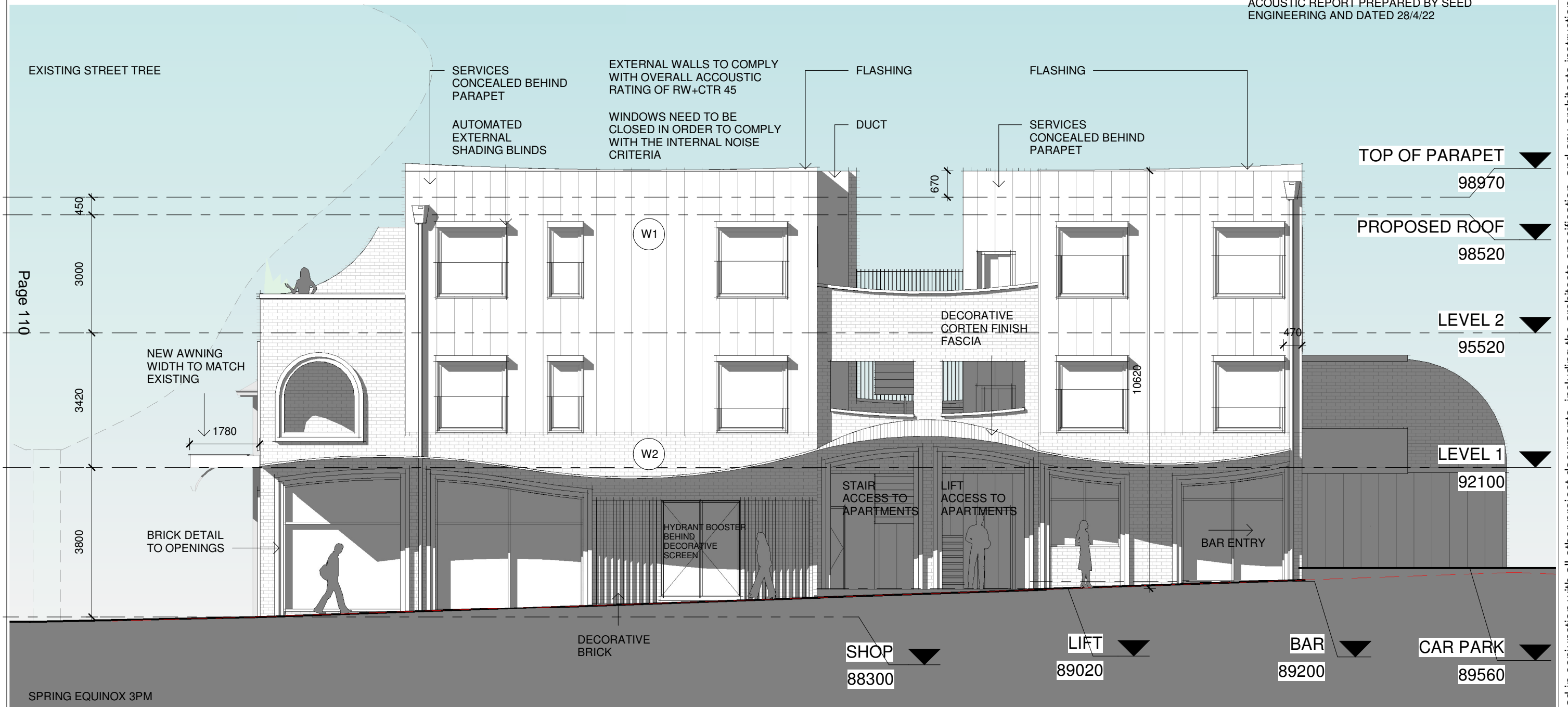


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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED WEST ELEVATION

sheet A 0 6
 scale @ A3 1 : 100
 date APR 2022
 drawn JN

28/04/2022 3:24:31 PM

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W1

CORTEN



W2

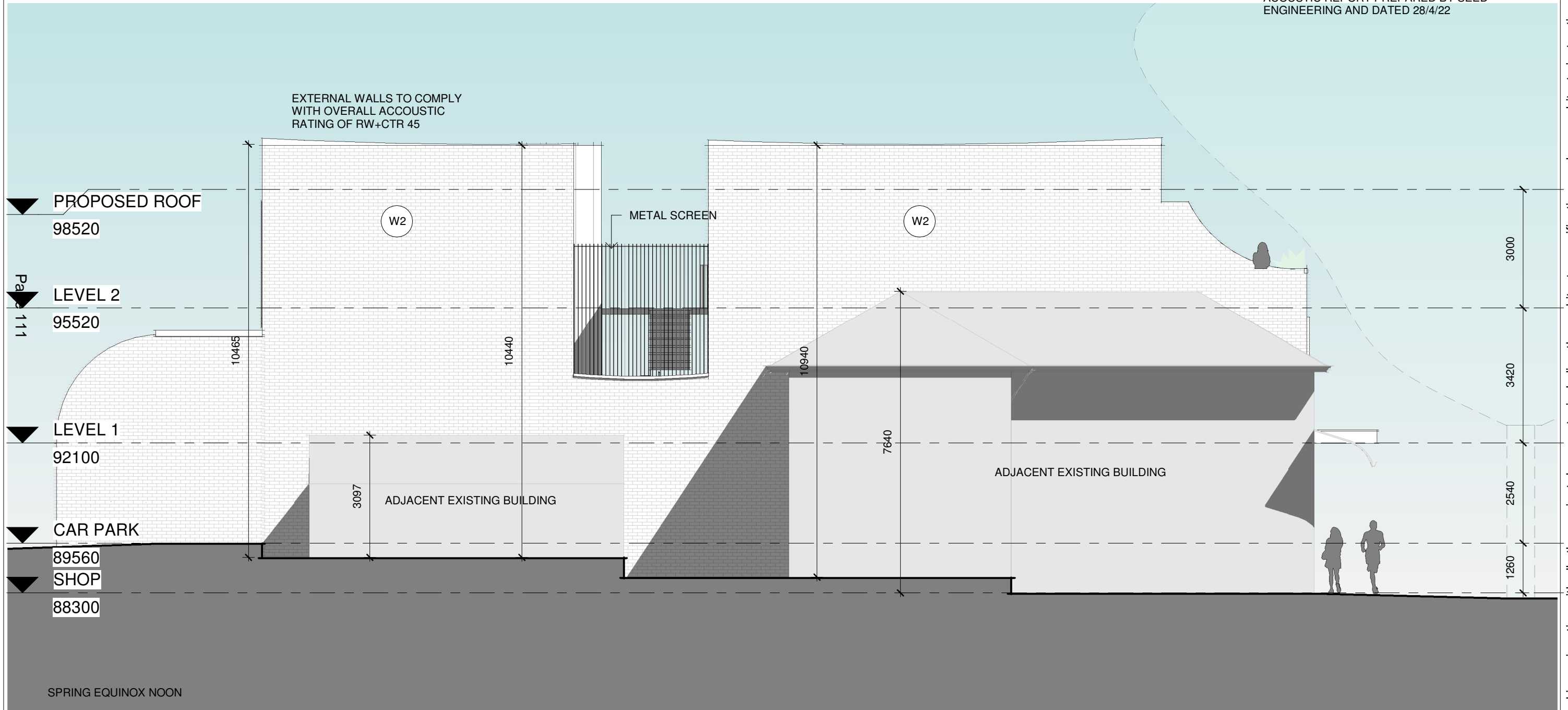
RECYCLED RED BRICK

NOTES

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DBF - SHOP
272 MAROONDAH HWY HEALESVILLE
PROPOSED EAST ELEVATION

sheet	A 07
scale @ A3	1 : 100
date	APR 2022
drawn	JN

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W1

CORTEN



W2

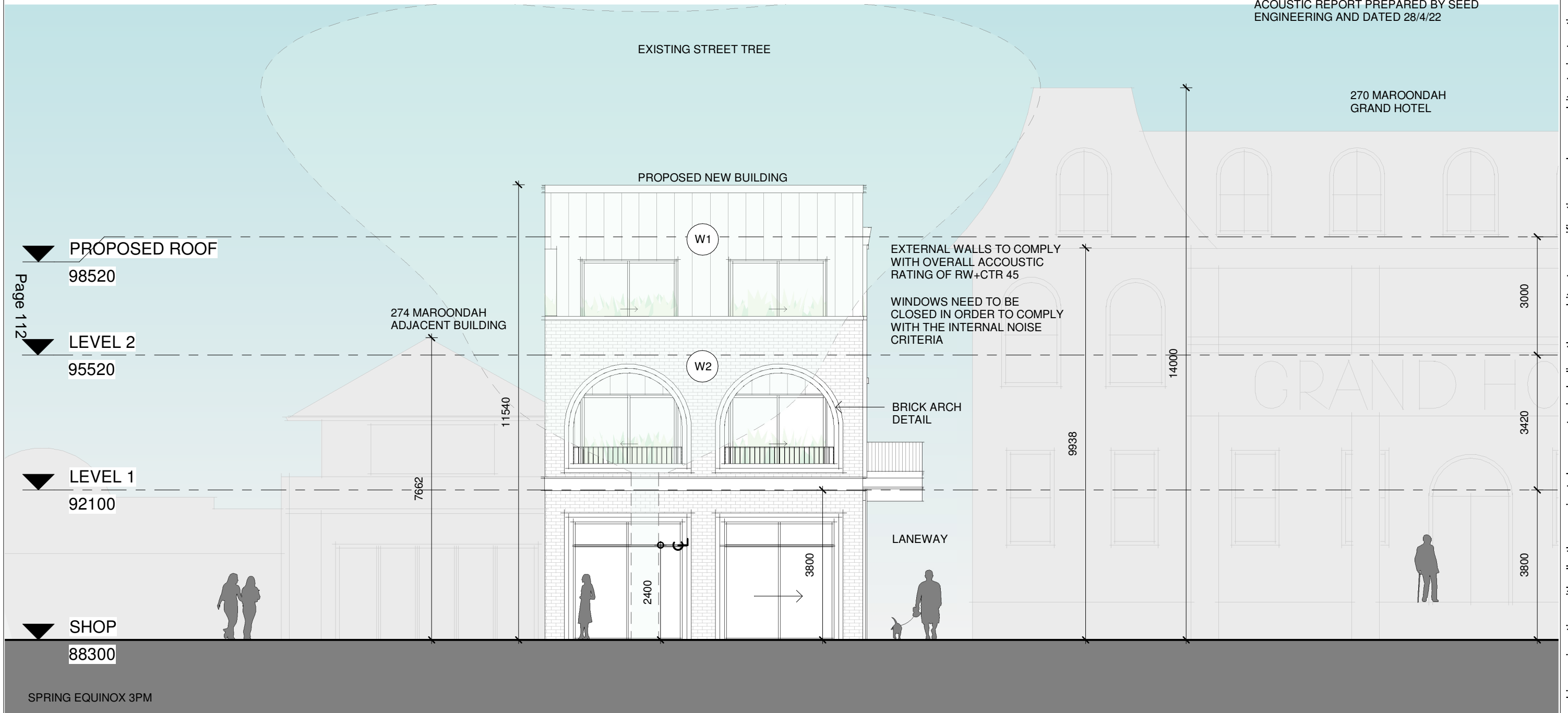
RECYCLED RED BRICK

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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED NORTH ELEVATION

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scale @ A3	1 : 100
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drawn	JN

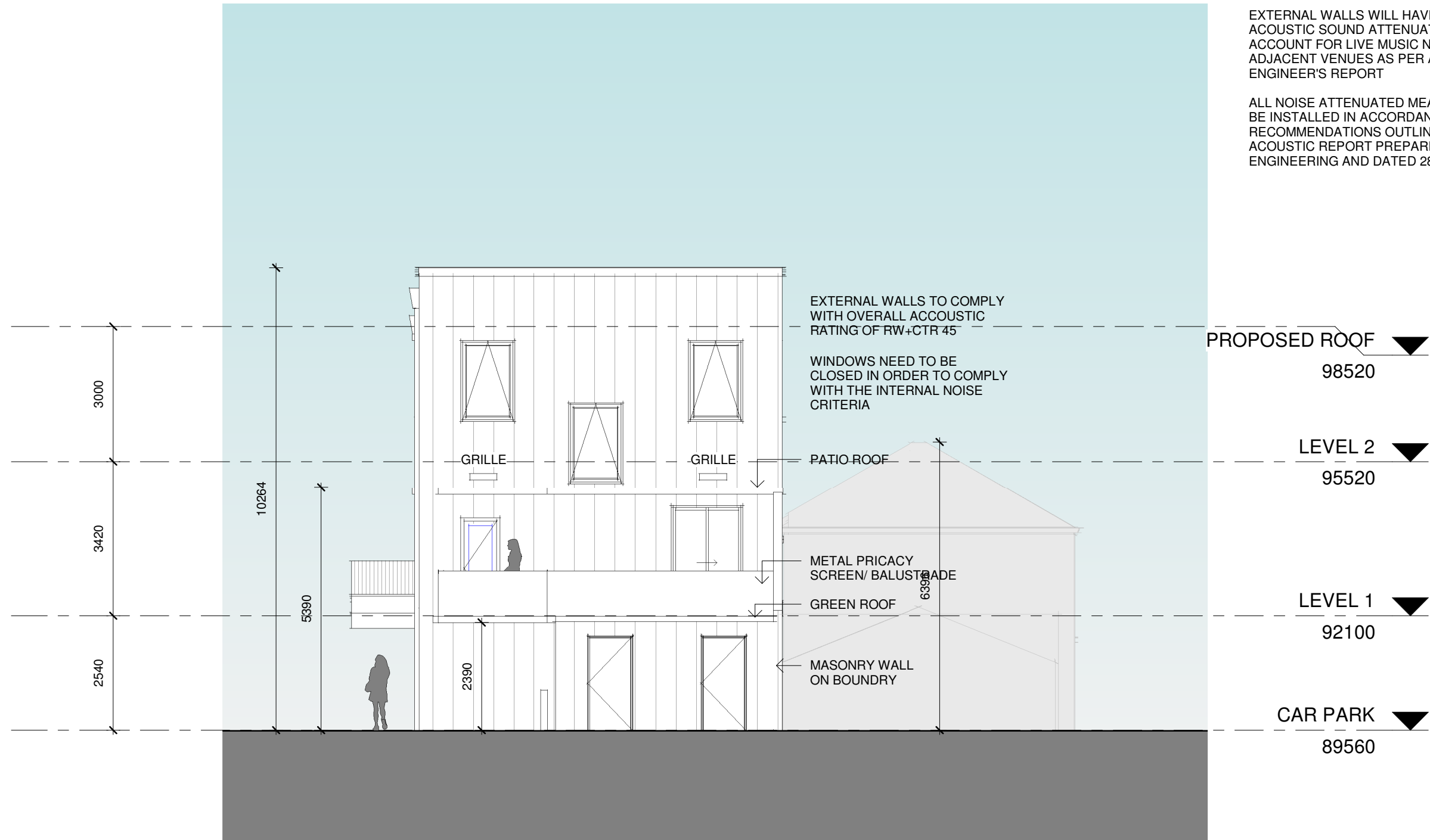
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SUMMER SOLSTICE 10AM

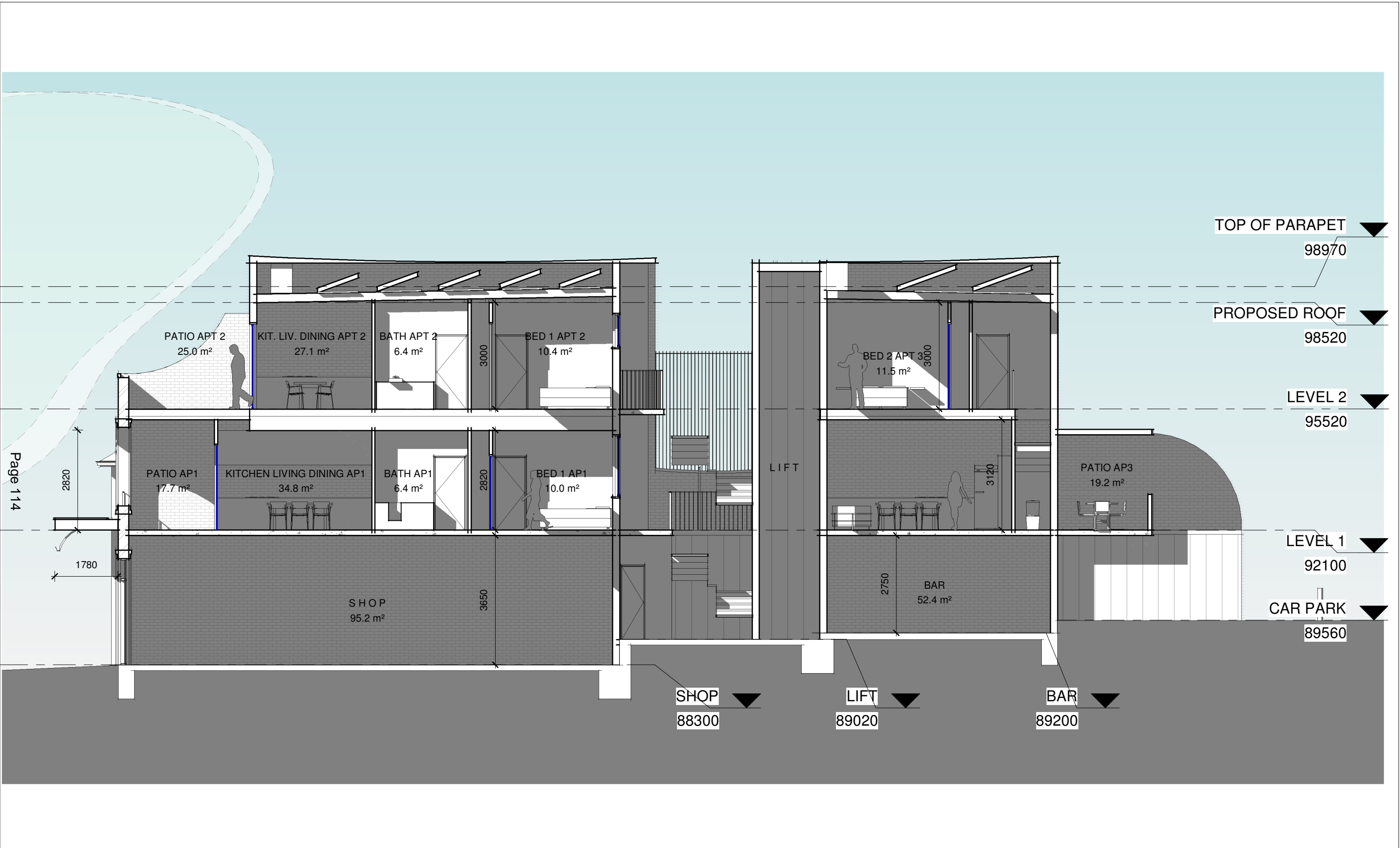
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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED SOUTH ELEVATION

sheet A 0 9
 scale @ A3 1 : 100
 date APR 2022
 drawn JN

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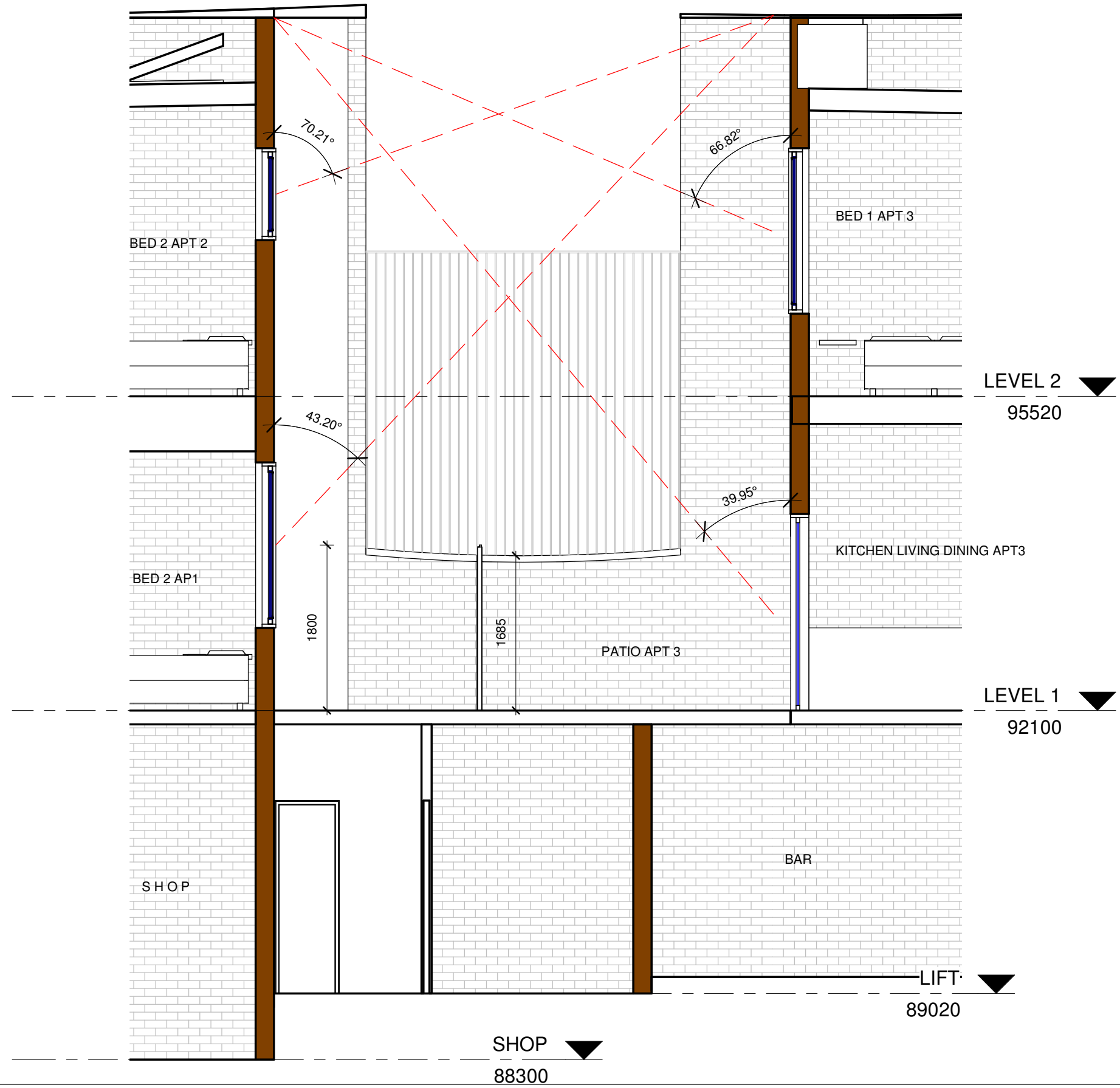
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DBF - SHOP
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drawn	JN

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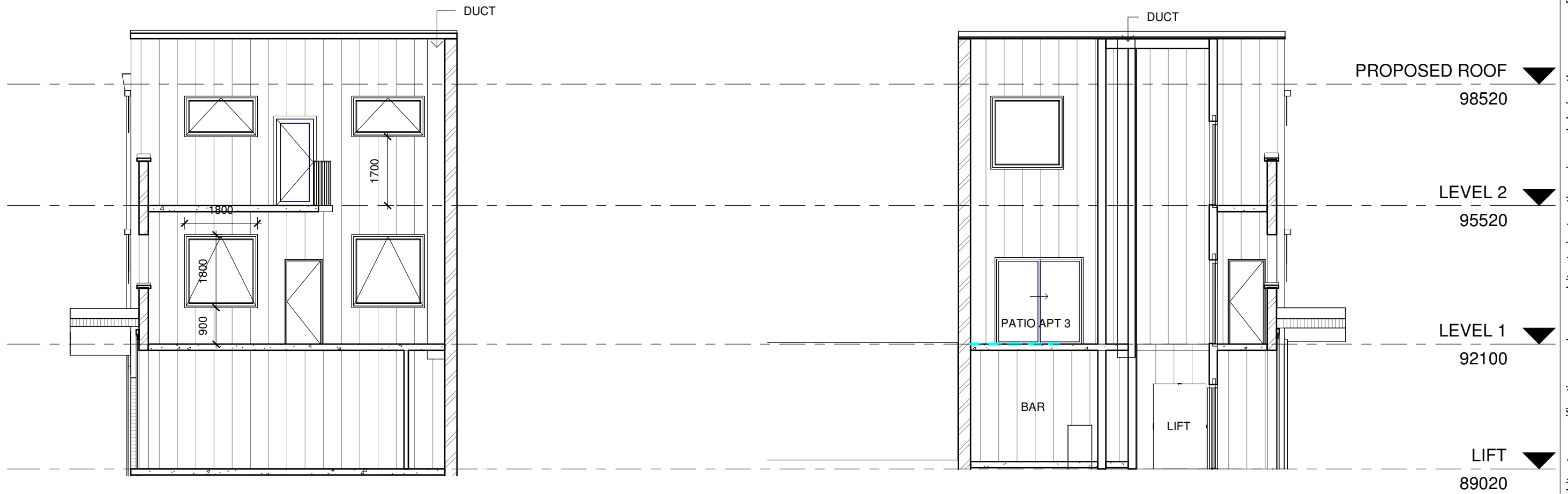
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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED SECTION B

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drawn	JN

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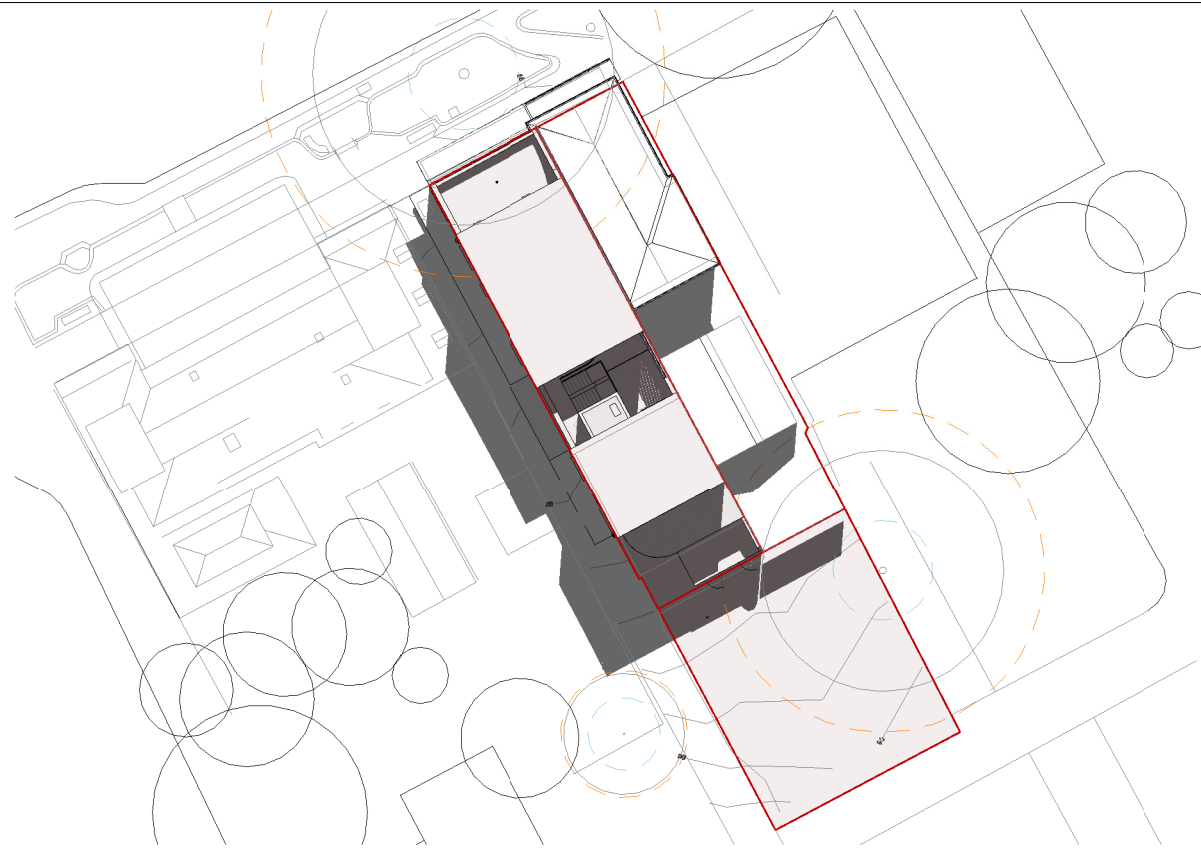


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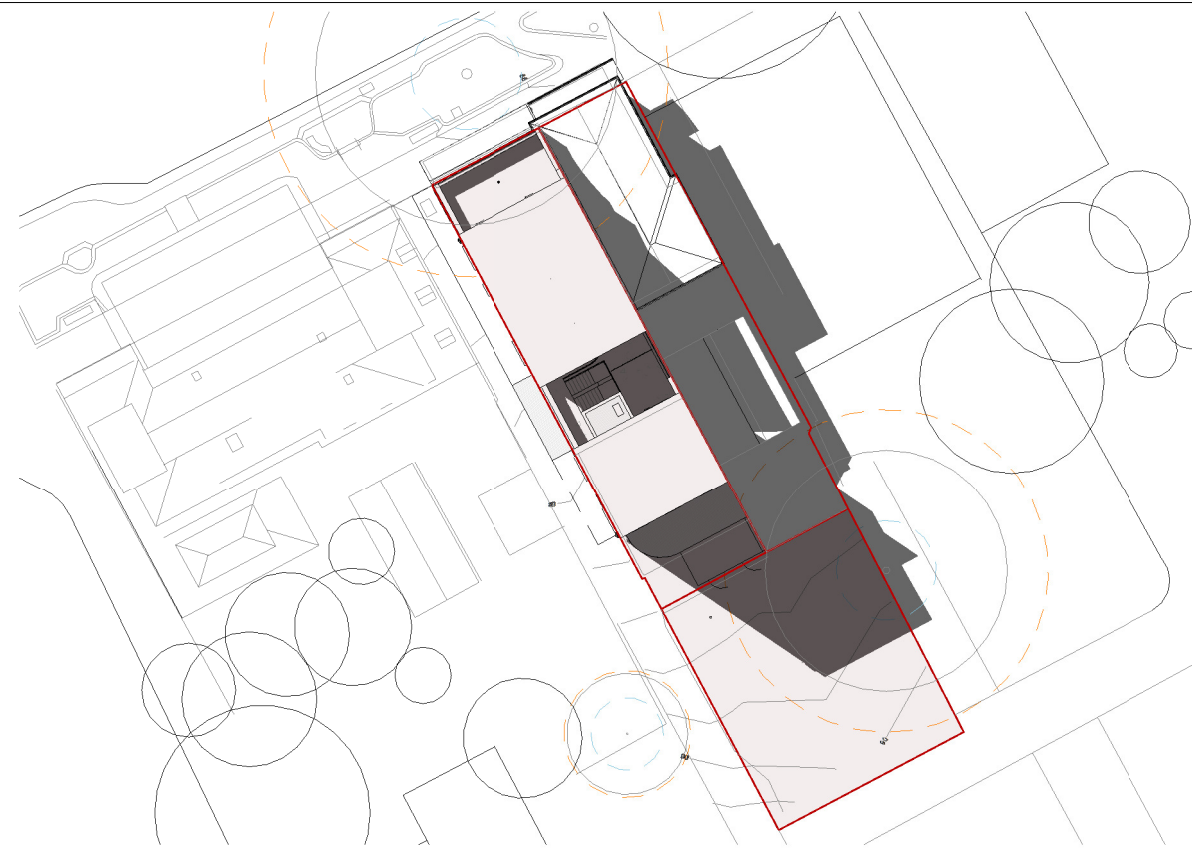
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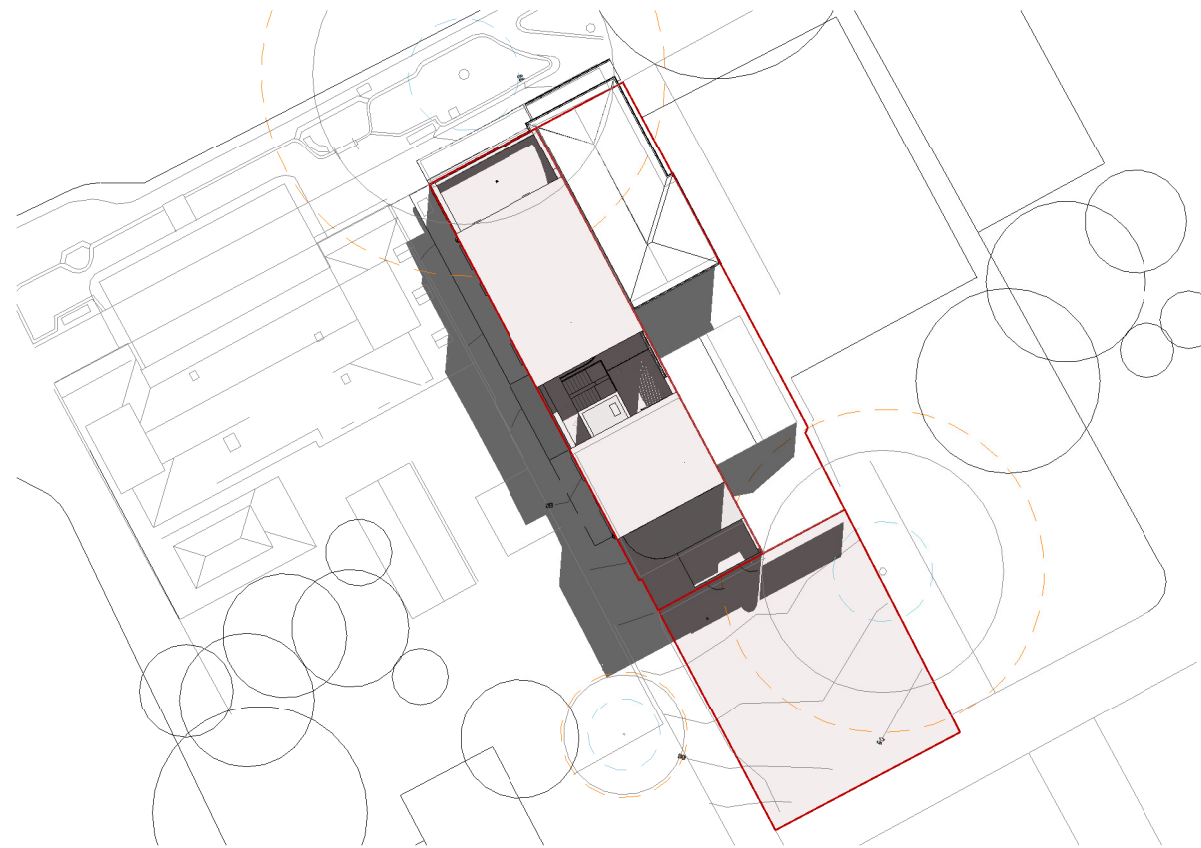
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SPRING EQUINOX 9AM



SPRING EQUINOX 3PM



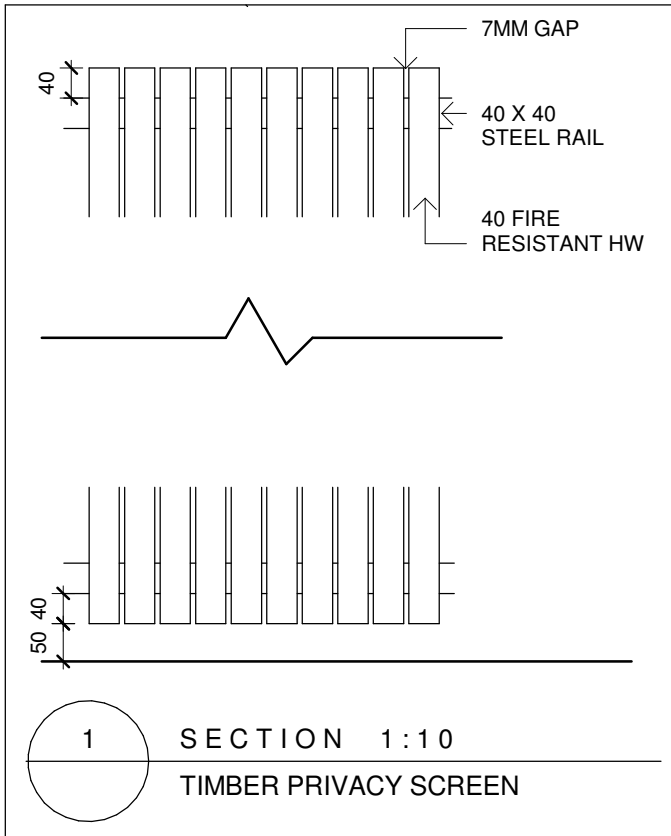
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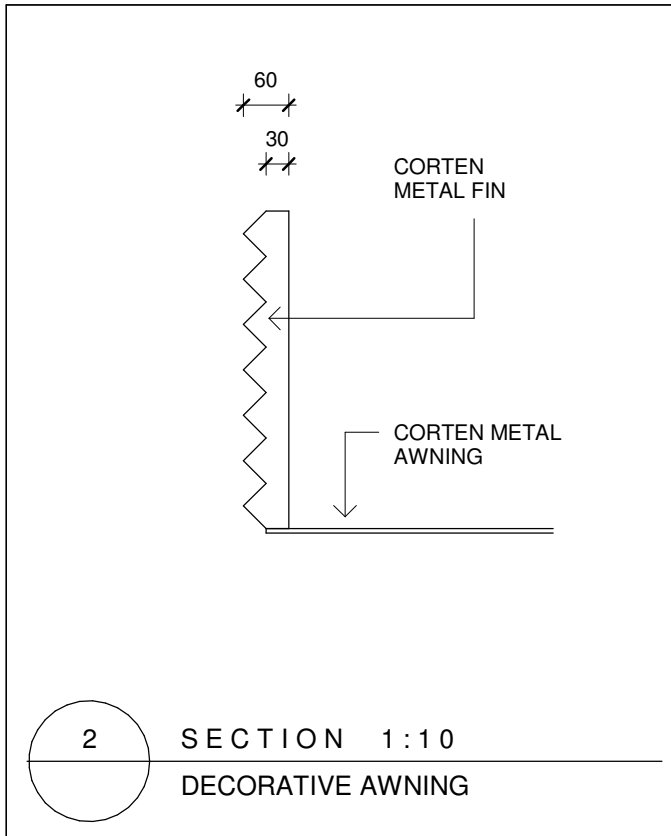
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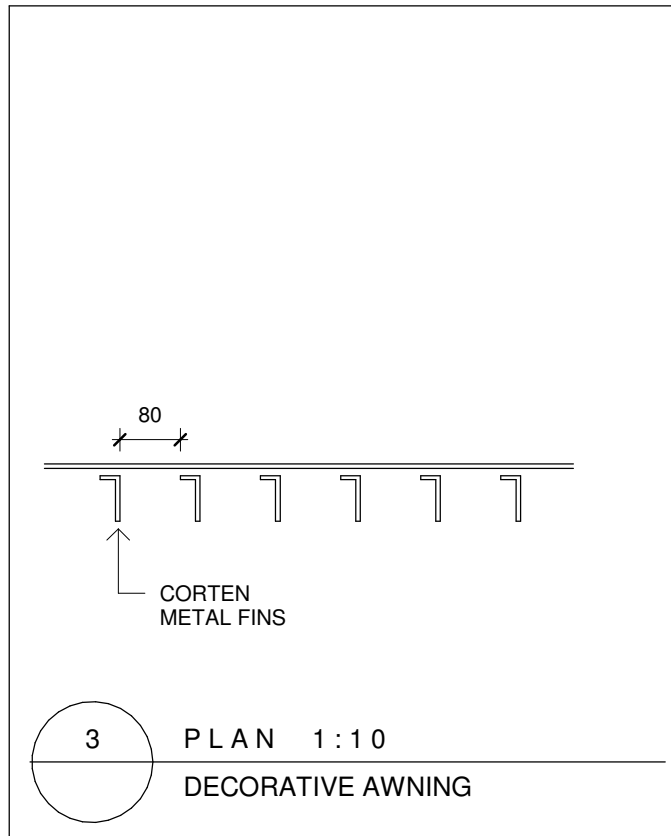
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drawn	JN



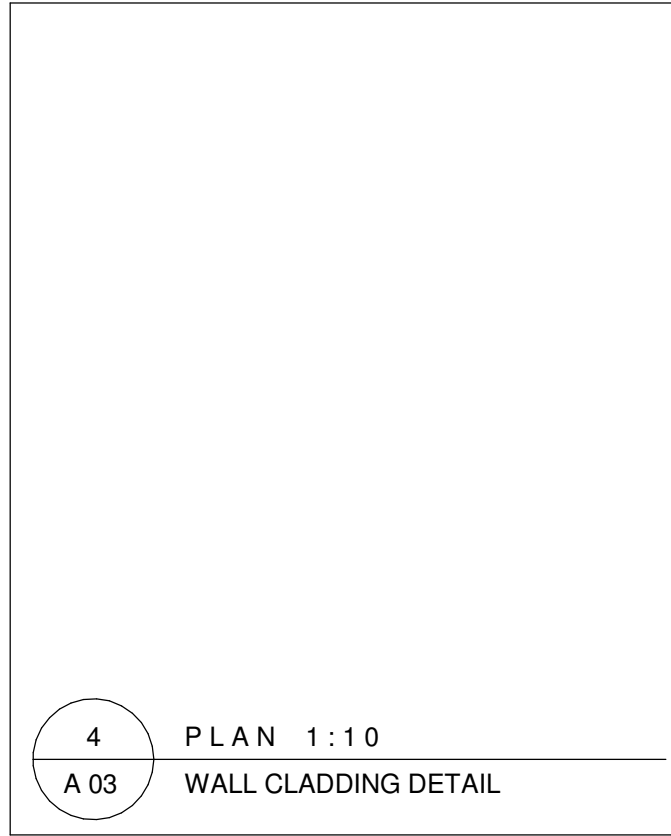
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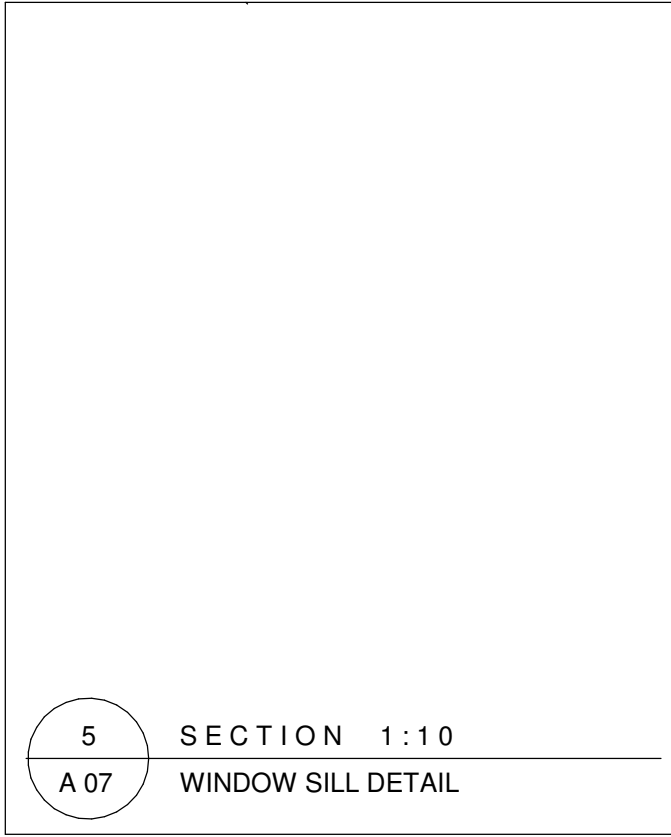
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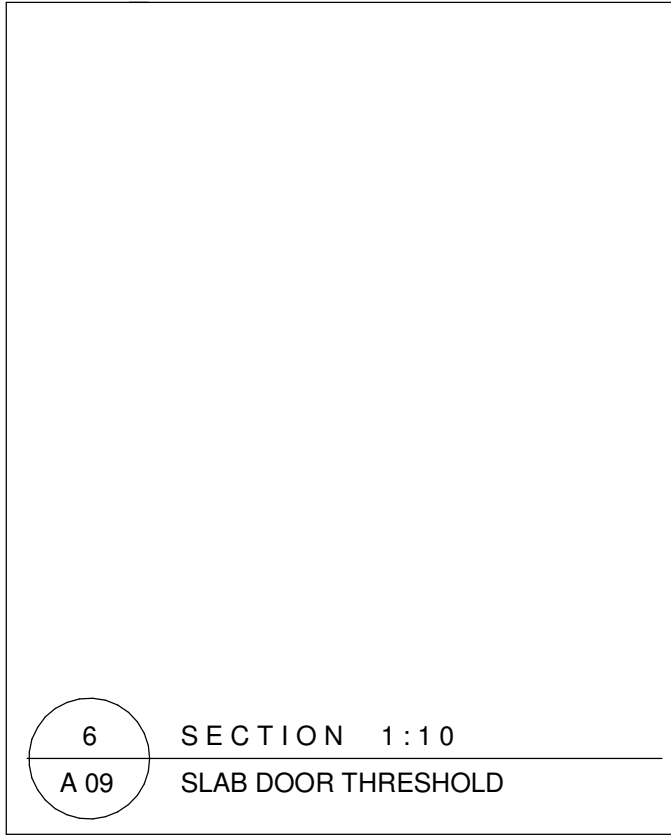
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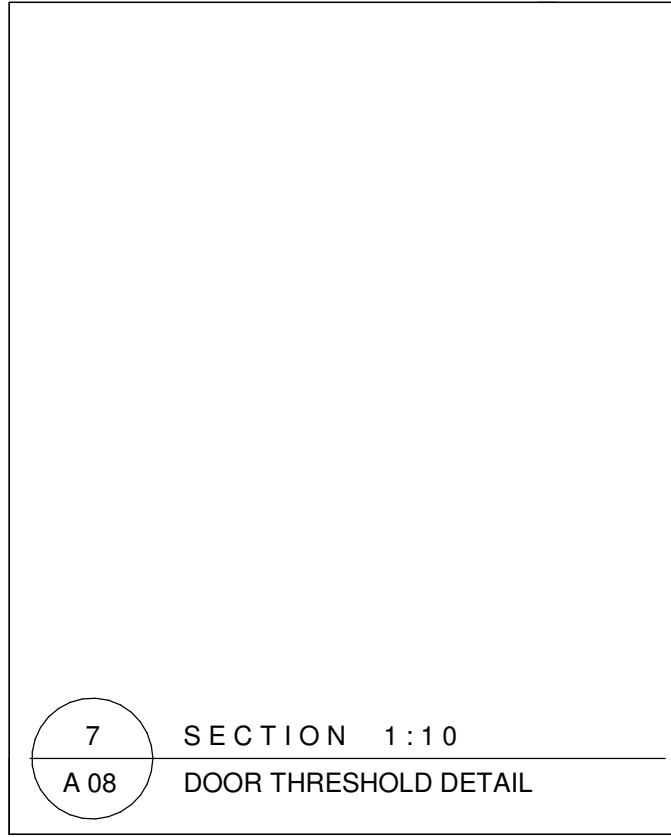
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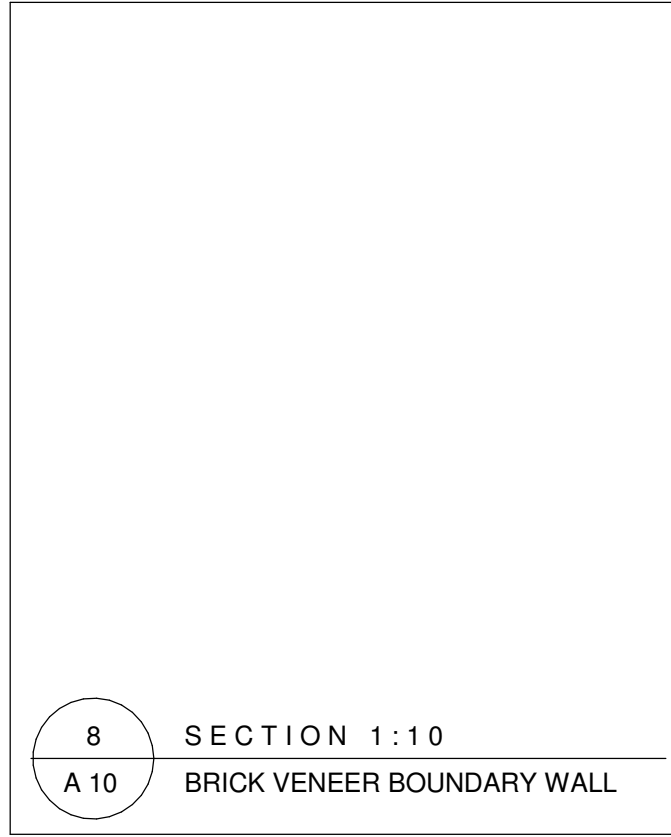
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A 07 WINDOW SILL DETAIL



6 SECTION 1:10
A 09 SLAB DOOR THRESHOLD



7 SECTION 1:10
A 08 DOOR THRESHOLD DETAIL



8 SECTION 1:10
A 10 BRICK VENEER BOUNDARY WALL

MAROONDAH HWY

GREEN STREET

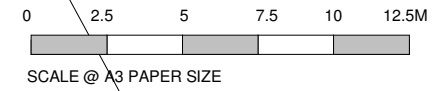
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GRAND HOTEL
(3 STORY)

274 MAROONDAH
(2 STORY)

272 MAROONDAH

PARKBET

COMMON PROPERTY
230.6M²



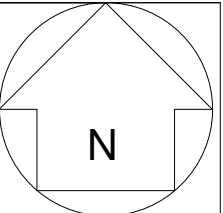
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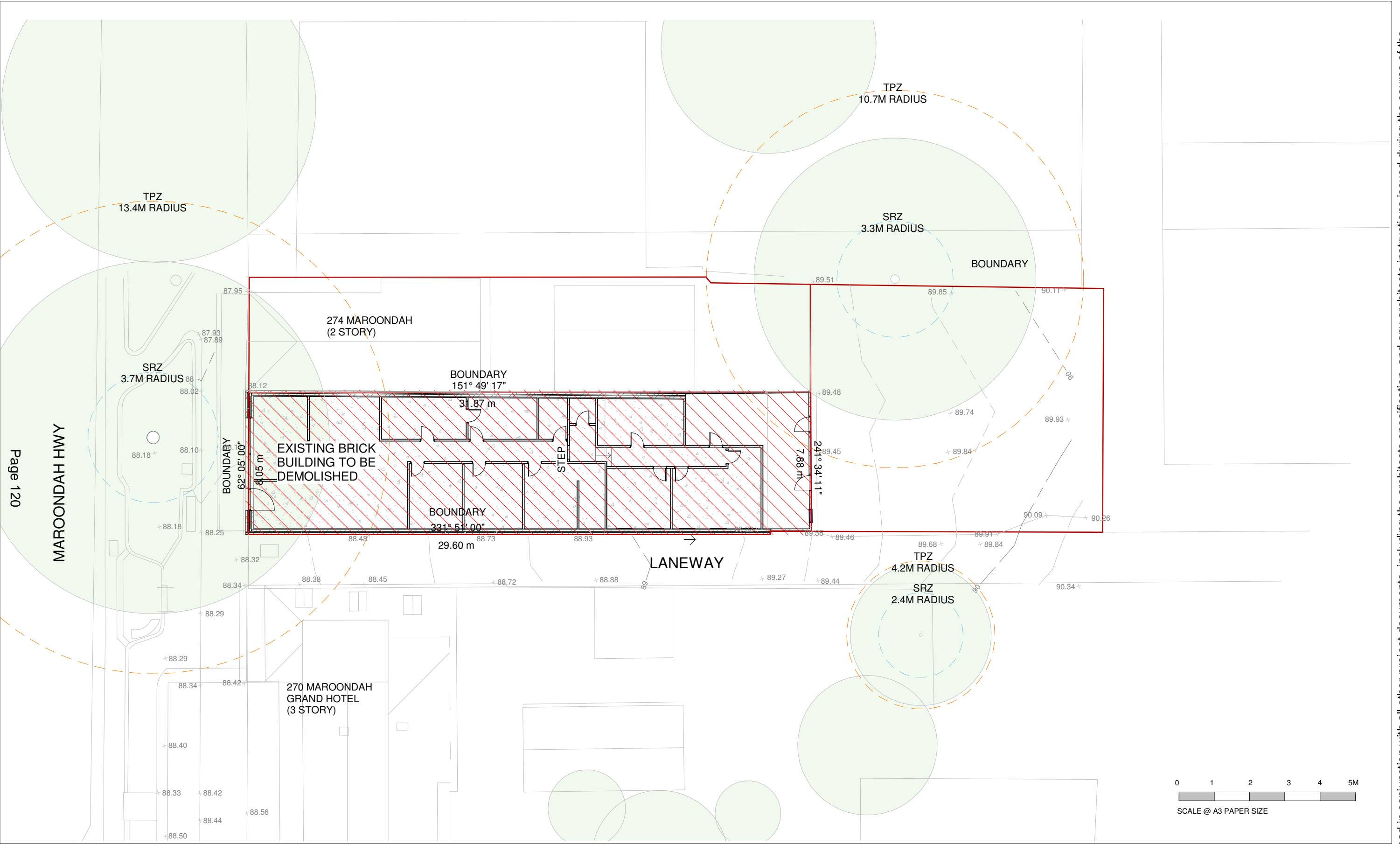
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EXISTING SITE PLAN

sheet E 01
 scale @ A3 1 : 250
 date APR 2022
 drawn JN



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MAROONDAH HWY



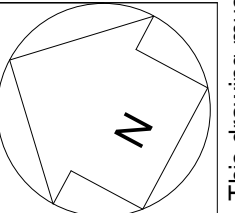
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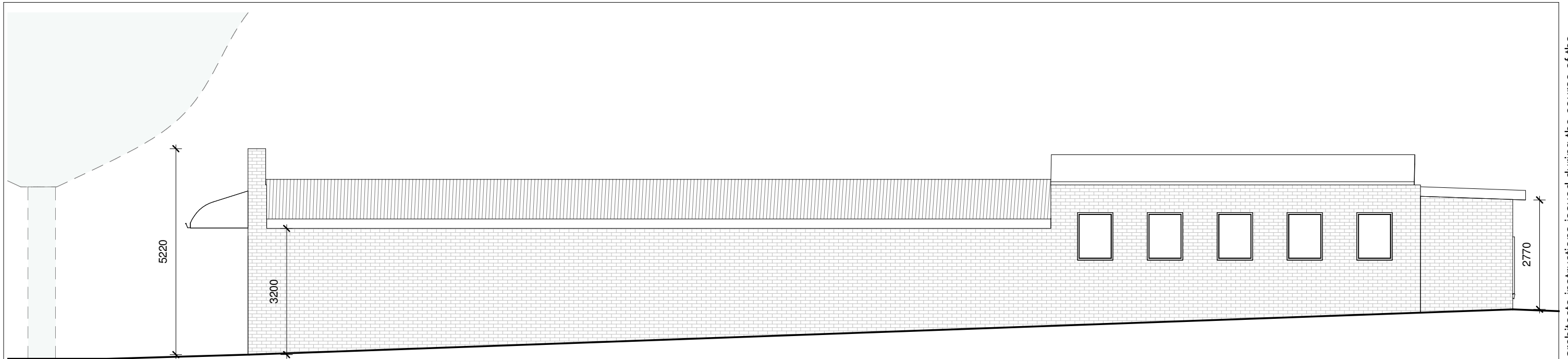
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NOT FOR CONSTRUCTION

DBF - SHOP
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EXISTING & DEMOLITION FLOORPLAN

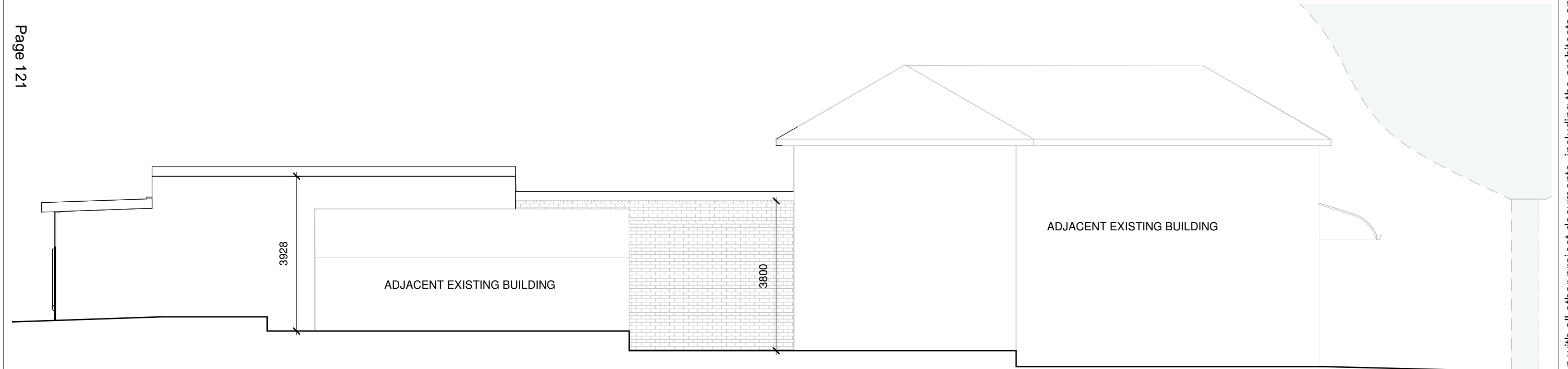
sheet E 02
 scale @ A3 1 : 200
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 drawn JN



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WEST ELEVATION



EAST ELEVATION

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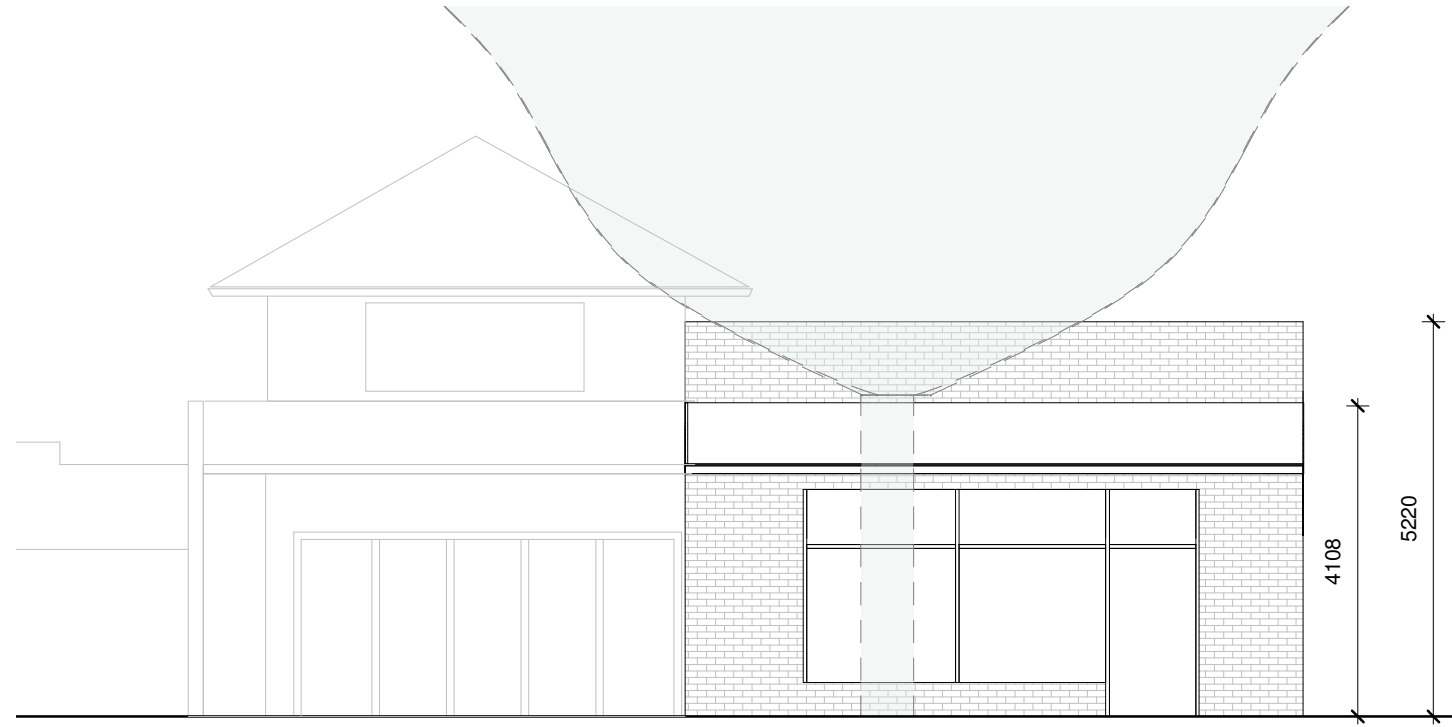
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DBF - SHOP
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 EXISTING ELEVATIONS

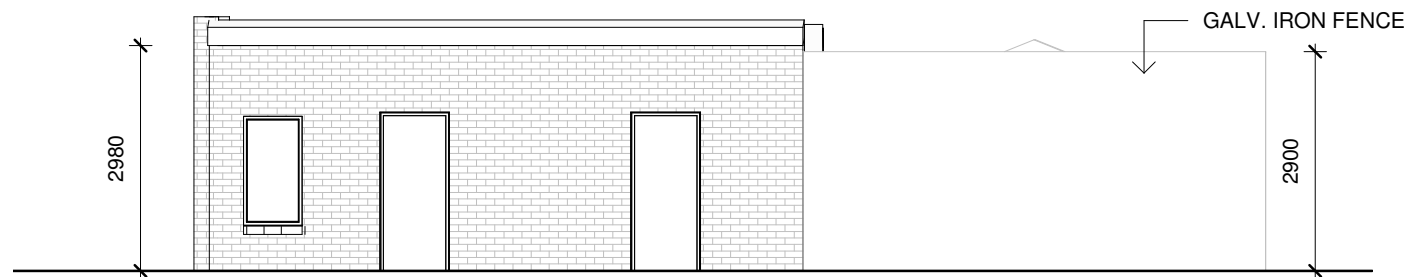
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drawn	JN

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NORTH ELEVATION



EAST ELEVATION

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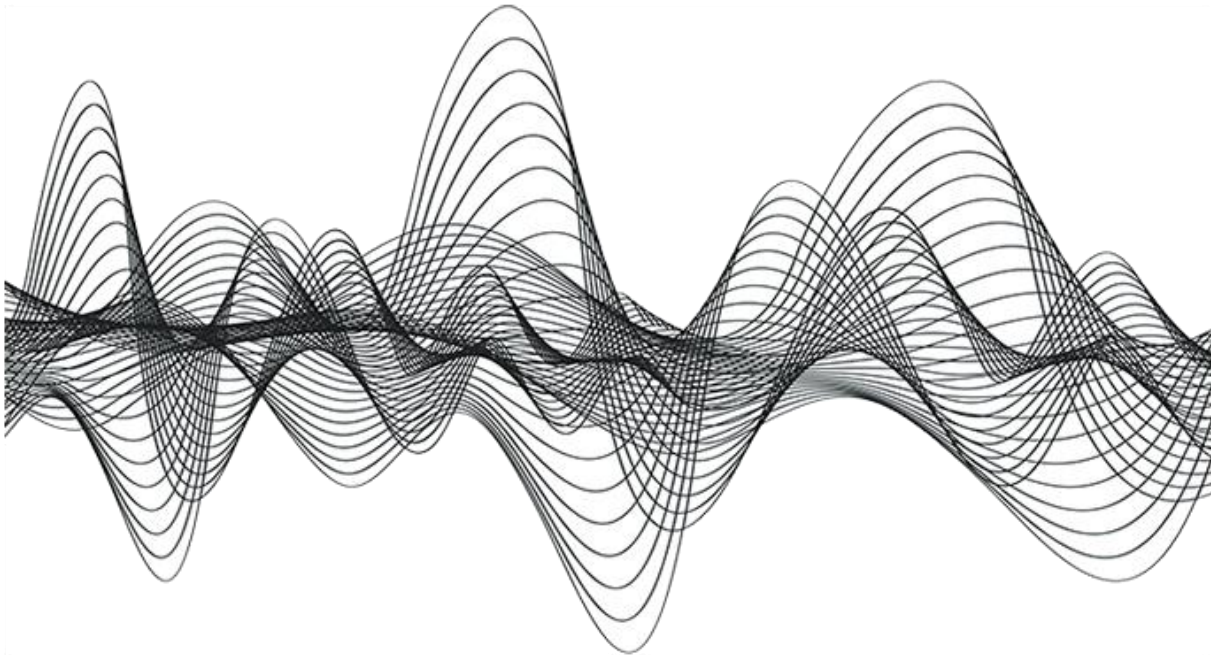
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 PLANNING APPLN 28/4/2022
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DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE

EXISTING ELEVATIONS

sheet	E 0 4
scale @ A3	1 : 100
date	APR 2022
drawn	JN

Noise Impact Assessment – Healesville, VIC



PREPARED FOR: Soft lout house architects
PREPARED BY: SEED Engineers Pty Ltd, in collaboration with RSA
PURPOSE: Noise Impact Assessment Report
PROJECT: Healesville Apartments - Healesville, VIC
DATE ISSUED: 28/04/2022
REVISION: A
AUTHOR: AMER NAJJAR – DANI AWAD
CHECKED & APPROVED: ROB LORD

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The success and realization of the proposed initiatives will be dependent upon the commitment of the design team, the development of the initiatives through the life of the design and the implementation into the operation of the system as a whole.

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1. Introduction

SEED Engineers Pty Ltd (SEED) has been engaged by Soft loud house architects to prepare a Noise Impact Assessment for the mixed-used development located at 272 Maroondah Highway, Healesville. This report forms part of supporting documents for an DA submission to Yarra Ranges Council.

In addition to evaluating external noise impacts upon the development's proposed residential areas, this report establishes noise criteria and assesses operational noise impacts from the site's proposed licenced bar area.

It must be noted that the licenced premises will not operate after 12:00am and will not feature live music or outdoor speakers.

Specific acoustic terminology is used in this report. An explanation of common acoustic terms is provided in Appendix A.

2. Proposed Development

Development Site

The development site is located at 272 Maroondah Highway, Healesville and is bounded by adjoining commercial receivers to the east and west Maroondah Highway to the north and a parking lot to the south.

Figure 2-1 Site Location



3. Ambient Noise Measurements

Attended Noise Monitoring

In order to characterise the worst-case acoustical environment that the residential development may be affected by, attended noise measurements were conducted on the 8th April 2022 at the locations shown in Figure 2-1. The measurements considered both road traffic and more relevantly noise intrusion from the Grand Hotel into the site. The measurement results are presented in Section 6.

Instrumentation for the survey comprised of an NTI-XL2 Type I Sound Level Meter (serial number: A2A-19294- E0) and fitted with a microphone windshield. Calibration of the meter was checked prior to and following measurements. Drift in calibration did not exceed ± 0.5 dB(A). All equipment carried appropriate and current NATA (or manufacturer) calibration certificates. No adverse weather events occurred during the measurement.

The meter determines L_{A1} , L_{A10} , L_{A90} and L_{Aeq} levels of the ambient noise. L_{A1} , L_{A10} , L_{A90} are the levels exceeded for 1%, 10% and 90% of the sample time respectively (see Glossary for Definitions in Appendix A).

4. Noise Guidelines and Criteria

The establishment of noise criteria for the assessment of the proposed bar has been based on the *Noise Limit And Assessment Protocol For The Control Of Noise From Commercial, Industrial And Trade Premises And Entertainment Venues (publication 1826.2 November 2020) Part II*. The relevant extract for the indoor and outdoor area for the bar area is presented below:

2. Noise limits – Indoor entertainment venues

- (95) The noise limits for music noise from indoor entertainment venues that apply within noise sensitive areas, are –
- a. for the day and evening period as defined in Regulation 123, $L_{A90} + 5$ dB; and
 - b. for the night period as defined in Regulation 123, $L_{OCT90} + 8$ dB.
- (96) Notwithstanding clause 95, if the noise limit for music noise from an indoor entertainment venue for the day and evening or night periods is calculated to be less than the base noise limit in Regulation 115, then the noise limit is the base noise limit.
- (103) Where the agent of change principle set out in clause 53.06 of the VPPs applies to a live music entertainment venue (as defined in the Regulations), and –
- a. the venue is an indoor entertainment venue, the noise limit at a pre-existing noise sensitive residential use is determined in accordance with clauses 95 and 96, and clauses 97 to 102.
 - b. the venue is an outdoor entertainment venue, the noise limit is 45 dB(A) when assessed indoors at a pre-existing noise sensitive residential use.
- (104) For the purpose of clause 103 the measurement point may be located inside any room (specifically defined within clause 53.06-3 of the Victoria Planning Provisions) of a noise sensitive residential use with windows and doors closed.

Based on the RFI from Yarra Ranges Council for the Application YR-2022/59, the council has requested an acoustic report to address the following requirements:

Clause 53.06-3 Live music entertainment venues

Acoustic report

- An acoustic report prepared by a suitably qualified acoustic engineering, demonstrating requirements are 53.06-3.

A noise sensitive residential use must be designed and constructed to include acoustic attenuation measures that will reduce noise levels from Indoor live music entertainment venue to below the noise limits specified in the Environment Protection Regulations under the Environment Protection Act 2017 and the incorporated Noise Protocol (Publication 1826.2, Environment Protection Authority, November 2020) Outdoor live music entertainment venue to below 45dB(A), assessed as an L_{eq} over 15 minutes.

As per the requirements of Yarra Ranges Council, the operational noise criteria for the entertainment venue inside the nearest resident is $L_{Aeq(15min)}$ **45 dB(A)**. The stringent criteria of 45dBA will be utilised for this assessment.

5. Noise Impact Assessment

Typical Patron Vocal Levels

The following section summarise the results of a patron noise assessment and the predicted levels at the worst affected nearby receivers as a result of the proposed bar operations (internal and external area).

Calculations of the amount of noise transmitted to these receivers from the proposed bar have been based on voice levels as referenced in the AAAC Licensed Premises Noise Assessment Technical Guide V2.0. This document provides voice spectrums in different vocal efforts at 1 meter from the talker on axis of the mouth. The spectrum is given in Table 5-1.

Table 5-1 Speech Spectrums - AAAC Licensed Premises Noise Assessment Technical Guide V2.0.

Type	LZeq at 1m (dB) Octave Band Centre Frequency (Hz)							Overall dB(A)
	125	250	500	1 k	2 k	4 k	8 k	
Male (Normal)	47	56	58	52	48	44	39	58
Male (Raised)	56	63	65	62	57	52	46	66
Male (Loud)	59	67	73	72	67	62	53	76

Patron Sound Power Levels

Based on the maximum number of patrons in all areas, the following worst-case operational scenarios have been assumed for our assessment:

- Only 50% of all patrons per room will be talking at any given time, this is assuming that 1 person will be talking, and 1 person will be listening.
- Based on the floor area, approximately 40 patrons in the internal bar area
- Based on the floor area, approximately 6 patrons in the outside area

The spectra have been scaled based upon the overall number of patrons expected to be in the respective areas at any given time

Table 5-2 Sound Power Levels of People talking with Raised Voice - Lw – dB

Scenario	Resultant Sound Power Level per Octave Band (dB)								Overall dB(A)
	63Hz	125Hz	250Hz	500Hz	1kHz	2kHz	4kHz	8kHz	
20 Patrons with Raised Vocal in the internally area	-	79	86	88	85	80	75	69	89
3 Patrons with Raised Vocal in the outside area	-	71	77	80	76	72	67	61	81

It is generally agreed that the human voice is not capable of producing noise at 32 Hz and 63Hz octave bands at significant amplitudes. It is also very likely that even if noise emission in this low frequency octave bands exceeds the noise criterion; it will be very close to, if not below, the human threshold of hearing at the receivers.

Appropriate sound power level conversations have been made for the varying distribution and number of patrons.

Music Sound Power Level

SEED has conducted measurements of background music noise levels at various licensed venues, based on these measurements the sound power level spectrum of typical music is shown in Table 5-3 below:

Table 5-3 Typical Sound Power Level of Typical Music - Lw – dB

Scenario	Resultant Sound Power Level per Octave Band (dB)								
	31.5Hz	63Hz	125Hz	250Hz	500Hz	1kHz	2kHz	4kHz	8kHz
Typical Background Music	70	79	87	84	79	82	80	78	71

Predicted Noise Impacts

Predictive resultant noise spectrums have been calculated for all proposed activities. Noise emissions at the nearest receivers are presented in the table below. The predicted noise calculations consider the following:

- Heights of receivers are assumed to be 1.5 m above their respective floor level.
- The number of patrons is as presented above
- No live music bands or DJs performing inside the bar
- No amplified music played outside the bar
- The bar closing at midnight
- The entry doors close automatically
- Ceiling slab having an acoustic rating Rw + Ctr 45 (Please see Section 7.2)
- Ground Floor bar area walls having a minimum acoustic rating of Rw + Ctr 45 (Please see Section 7.2)
- Resulting noise levels have been calculated to the most affected point inside the affected receivers

The most sensitive receiver to the operation of the bar will be Living/Kitchen area of Apartment 3 located on Level 1. The resulting noise levels from the operation of the proposed bar areas are presented in the table below, we have assumed the worst-case scenario were the internal bar area and outside bar area are operating simultaneously and at full capacity.

Table 5-4 Predicted Noise Impact Levels at Worst Affected Residential Receiver

Receiver	Calculated Noise Level	Criteria	Compliance
Apartment 3	36	45	Yes

Based on the above calculated levels, noise into the most affected areas of Apt 3 can comply with noise criteria with the recommended noise control measures in this assessment.

6. External Noise Impact on The Development

Yarra Ranges Council expressed concern regarding noise emanating from the Grand Hotel (270 Maroondah Highway) into the proposed residential areas of the development. This includes both patron noise from the Grand Hotel's beer garden and live music noise from the Grand Hotel's indoor band area.

SEED carried out attended measurements of both the Grand Hotel's Beer Garden and of a live rock band music performance between the hours of 9:30pm - 10:30pm on 8th April 2022. This can be considered a worst-case scenario. Live music noise (amplified PA system, bass and drumkit) emanating from the northern façade of the Grand Hotel was deemed to be the dominating noise source in the area.

The measurements were undertaken at the locations presented in Figure 2-1. The results are presented below in Table 6-1.

Table 6-1 Noise Monitoring Locations

Monitoring Location	Measured noise levels
West Boundary (Beer Garden Intrusion) (1-metre from proposed western façade)	L _{Aeq(15min)} 58dB(A) - Ground level L _{Aeq(15min)} 64dB(A) - Elevated (level 1)
North Boundary (Live Music/Band Intrusion) (1-metre from proposed northern façade)	L _{Aeq(15min)} 68 dB(A) - Ground level

Section 7.2 of this report provides robust construction recommendations at the request of Seed Engineers with the purpose of providing a high level of amenity for the residential areas of the site at 272 Maroondah Highway, Healesville.

7. Noise Control Recommendations

SEED recommends the following acoustic measures and noise management recommendations to be put into practice in order to ensure compliance and provide amenity for adjoining sensitive receivers.

Noise Management Recommendations

SEED has conducted measurements of background music noise levels at various licensed venues, based on these measurements the sound power level spectrum of typical music is shown in Table 5-3 below:

- No live music bands or DJs performing inside or outside the bar.
- No amplification/speakers to be erected played outside the bar or on the external walls.
- The entry doors close automatically.
- Internal wall mounted speakers must be mounted on resilient rubber mounts such as or similar to Resilmount. This is to avoid potential structure borne noise or vibration through the wall or slab.
- All bar operations cease at 12:00am.

Construction Recommendations

The following construction recommendations are given as guidance only. The client is responsible for selecting adequate systems in order to achieve the recommended acoustic ratings.

Table 7-1 Minimum Acoustic Rating (R_w) Required for Glazing Elements

Location	Glazing Type	Minimum Glazing R _w Rating	Indicative Glazing System
Level 1 (Apartment 1-3) - North, West and South Facades			
Living/Kitchen	Sliding Doors	R _w 40	6mm VFloat (16mm Gap) 8.5mm Hush Laminate
	Windows	R _w 40	6mm VFloat (16mm Gap) 8.5mm Hush Laminate
Bedrooms	Sliding Door	R _w 43	8mm VFloat (16mm Gap) 10.5mm Hush Laminate
	Windows	R _w 43	8mm VFloat (16mm Gap) 10.5mm Hush Laminate
Bathrooms/Laundry/Entry	Windows	R _w 36	10.38mm Laminate
Level 2 (Apartments 2-3) - North, West and South Facades			
Living/Kitchen	Sliding Door	R _w 40	6mm VFloat (16mm Gap) 8.5mm Hush Laminate
	Window	R _w 40	6mm VFloat (16mm Gap) 8.5mm Hush Laminate
Bedrooms	Sliding Door	R _w 43	8mm VFloat (16mm Gap) 10.5mm Hush Laminate
	Window	R _w 43	8mm VFloat (16mm Gap) 10.5mm Hush Laminate

Stairs	Windows	Rw 40	6mm VFloat (16mm Gap) 8.5mm Hush Laminate
Bathrooms/Laundry	Windows	Rw 36	10.38mm Laminate

Note *: glazing system are for reference only. Any glazing system to be installed for the development is to achieve the minimum Rw rating indicated above.

Please note Rw ratings provided in Table 7-1 rely on the acoustic performance of the window glazing and frame. Rw ratings should be checked with glazing manufacturers and frames should be selected and installed as to not degrade the performance of the glazing. It is also recommended that glazing specifications are reviewed at the detailed design stage, most notably if changes to the glazing area are made throughout the design.

Roof/Ceiling

The following wall construction recommendations are given as guidance only. The client is responsible for selecting adequate systems in order to achieve the recommended acoustic ratings.

The overall acoustic rating required is $R_w + C_{tr} 40$ (minimum). This can be achieved by the following construction: A steel sheet or equivalent roof on a minimum 150mm concrete slab ceiling.

Masonry Walls

The proposed external walls are to be brick. The masonry external walls will be required to achieve a rating of $R_w + C_{tr} 45$.

This Rw rating is can be achieved with a standard brick construction with 90mm Bradford Gold 2.7 insulation + Steel Stud + 13mm Plasterboard. No further acoustic requirements are needed.

CORTEN Walls

Walls clad with CORTEN must also achieve a minimum $R_w + C_{tr} 45$ rating.

Detailing

Note that well-detailed construction and careful installation is needed to achieve the required R_w acoustic ratings. All gaps are to be minimised and fully sealed with an acoustic rated sealant, such as FireBan One by Bostik or Sikaflex Pro 2HP by Sika.

Mechanical Ventilation

Windows need to be closed in order to comply with the internal noise criteria. This would interfere with the natural ventilation of the residence. As such, ventilation approved by Council and in accordance with the relevant regulations such as the National Construction Code (NCC Vol.1, Part 4.5 Ventilation of rooms) and AS1668.2-2002 The use of ventilation and air conditioning will be required.

8. Conclusions

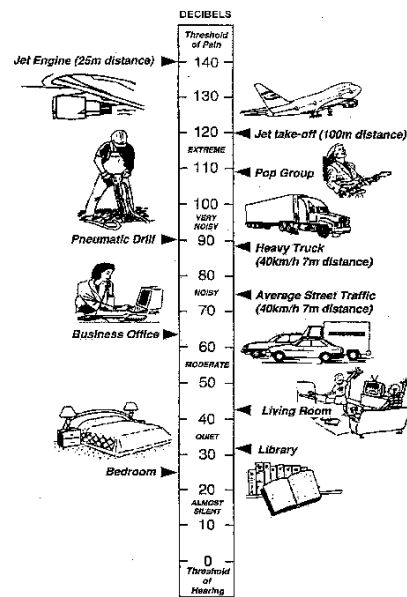
A noise impact assessment has been carried out in relation to any potential operational noise impacts due to the proposed licensed site that will feature as part of the mixed-use development at 272 Maroondah Highway, Healesville. The development will meet the necessary EPA and council requirements given recommendations and management controls provided in this report will be adhered to.

This assessment has been conducted with regard to the appropriate noise emission criteria under the Environment Protection Act 2017 and the incorporated Noise Protocol (Publication 1826.2, Environment Protection Authority, November 2020) which have been satisfied in accordance with Yarra Ranges Council requirements.

Appendix A – Acoustic Terminology

A-weighted sound pressure	The human ear is not equally sensitive to sound at different frequencies. People are more sensitive to sound in the range of 1 to 4 kHz (1000 – 4000 vibrations per second) and less sensitive to lower and higher frequency sound. During noise measurement an electronic ' <i>A-weighting</i> ' frequency filter is applied to the measured sound level <i>dB(A)</i> to account for these sensitivities. Other frequency weightings (B, C and D) are less commonly used. Sound measured without a filter is denoted as linear weighted <i>dB(linear)</i> .
Ambient noise	The total noise in a given situation, inclusive of all noise source contributions in the near and far field.
Community annoyance	Includes noise annoyance due to: <ul style="list-style-type: none"> ✓ character of the noise (e.g. sound pressure level, tonality, impulsiveness, low-frequency content) ✓ character of the environment (e.g. very quiet suburban, suburban, urban, near industry) ✓ miscellaneous circumstances (e.g. noise avoidance possibilities, cognitive noise, unpleasant associations) ✓ human activity being interrupted (e.g. sleep, communicating, reading, working, listening to radio/TV, recreation).
Compliance	The process of checking that source noise levels meet with the noise limits in a statutory context.
Cumulative noise level	The total level of noise from all sources.
Extraneous noise	Noise resulting from activities that are not typical to the area. Atypical activities may include construction, and traffic generated by holiday periods and by special events such as concerts or sporting events. Normal daily traffic is not considered to be extraneous.
Feasible and reasonable measures	Feasibility relates to engineering considerations and what is practical to build; reasonableness relates to the application of judgement in arriving at a decision, considering the following factors: <ul style="list-style-type: none"> ✓ Noise mitigation benefits (amount of noise reduction provided, number of people protected). ✓ Cost of mitigation (cost of mitigation versus benefit provided). ✓ Community views (aesthetic impacts and community wishes). ✓ Noise levels for affected land uses (existing and future levels, and changes in noise levels).
Impulsiveness	Impulsive noise is noise with a high peak of short duration or a sequence of these peaks. Impulsive noise is also considered annoying.

Low frequency	Noise containing major components in the low-frequency range (20 to 250 Hz) of the frequency spectrum.
Noise criteria	The general set of non-mandatory noise levels for protecting against intrusive noise (for example, background noise plus 5 dB) and loss of amenity (e.g. noise levels for various land use).
Noise level (goal)	A noise level that should be adopted for planning purposes as the highest acceptable noise level for the specific area, land use and time of day.
Noise limits	Enforceable noise levels that appear in conditions on consents and licences. The noise limits are based on achievable noise levels, which the proponent has predicted can be met during the environmental assessment. Exceedance of the noise limits can result in the requirement for either the development of noise management plans or legal action.
Performance-based goals	Goals specified in terms of the outcomes/performance to be achieved, but not in terms of the means of achieving them.
Rating Background Level (RBL)	The rating background level is the overall single figure background level representing each day, evening and night time period. The rating background level is the 10 th percentile min L _{A90} noise level measured over all day, evening and night time monitoring periods.
Receptor	The noise-sensitive land use at which noise from a development can be heard.
Sleep disturbance	Awakenings and disturbance of sleep stages.
Sound and decibels (dB)	<p>Sound (or noise) is caused by minute changes in atmospheric pressure that are detected by the human ear. The ratio between the quietest noise audible and that which should cause permanent hearing damage is a million times the change in sound pressure. To simplify this range the sound pressures are logarithmically converted to decibels from a reference level of 2 x 10⁻⁵ Pa.</p> <p>The picture below indicates typical noise levels from common noise sources.</p>



dB is the abbreviation for decibel – a unit of sound measurement. It is equivalent to 10 times the logarithm (to base 10) of the ratio of a given sound pressure to a reference pressure.

Sound power Level (SWL)

The sound power level of a noise source is the sound energy emitted by the source. Notated as SWL, sound power levels are typically presented in *dB(A)*.

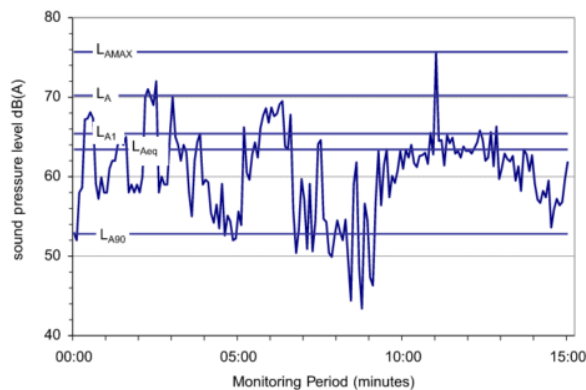
Sound Pressure Level (SPL)

The level of noise, usually expressed as SPL in *dB(A)*, as measured by a standard sound level meter with a pressure microphone. The sound pressure level in *dB(A)* gives a close indication of the subjective loudness of the noise.

Statistic noise levels

Noise levels varying over time (e.g. community noise, traffic noise, construction noise) are described in terms of the statistical exceedance level.

A hypothetical example of A weighted noise levels over a 15-minute measurement period is indicated in the following figure:



Key descriptors:

L_{Amax} Maximum recorded noise level.

L_{A1} The noise level exceeded for 1% of the 15 minute interval.

L_{A10} Noise level present for 10% of the 15-minute interval. Commonly referred to the average maximum noise level.

L_{Aeq} Equivalent continuous (energy average) A-weighted sound pressure level. It is defined as the steady sound level that contains the same amount of acoustic energy as the corresponding time-varying sound.

L_{A90} Noise level exceeded for 90% of time (background level). The average minimum background sound level (in the absence of the source under consideration).

Threshold

The lowest sound pressure level that produces a detectable response (in an instrument/person).

Tonality

Tonal noise contains one or more prominent tones (and characterised by a distinct frequency components) and is considered more annoying. A 2 to 5 dB(A) penalty is typically applied to noise sources with tonal characteristics



Appendix B – Calibration Certificates



**Acoustic
Research
Labs Pty Ltd**

Unit 36/14 Loyalty Rd
North Rocks NSW AUSTRALIA 2151
Ph: +61 2 9484 0800 A.B.N. 65 160 399 119
www.acousticresearch.com.au

Sound Level Meter

IEC 61672-3:2013

Calibration Certificate

Calibration Number C21356

Client Details Rodney Stevens Acoustics Pty Ltd
1 Majura Close
St Ives Chase NSW 2075

Equipment Tested/ Model Number : Nti XL2
Instrument Serial Number : A2A-18924-E0
Microphone Serial Number : A20658
Pre-amplifier Serial Number : 09804

Pre-Test Atmospheric Conditions
Ambient Temperature : 22.8°C
Relative Humidity : 49.5%
Barometric Pressure : 100.05kPa

Post-Test Atmospheric Conditions
Ambient Temperature : 22.6°C
Relative Humidity : 49.2%
Barometric Pressure : 100.02kPa

Calibration Technician : Lucky Jaiswal
Calibration Date : 3 Jun 2021

Secondary Check: Rhys Gravelle
Report Issue Date : 3 Jun 2021

Approved Signatory :

Ken Williams

Clause and Characteristic Tested	Result	Clause and Characteristic Tested	Result
12: Acoustical Sig. tests of a frequency weighting	Pass	17: Level linearity incl. the level range control	Pass
13: Electrical Sig. tests of frequency weightings	Pass	18: Toneburst response	Pass
14: Frequency and time weightings at 1 kHz	Pass	19: C Weighted Peak Sound Level	Pass
15: Long Term Stability	Pass	20: Overload Indication	Pass
16: Level linearity on the reference level range	Pass	21: High Level Stability	Pass

The sound level meter submitted for testing has successfully completed the class 1 periodic tests of IEC 61672-3:2013, for the environmental conditions under which the tests were performed.

However, no general statement or conclusion can be made about conformance of the sound level meter to the full requirements of IEC 61672-1:2013 because evidence was not publicly available, from an independent testing organisation responsible for pattern approvals, to demonstrate that the model of sound level meter fully conformed to the requirements in IEC 61672-1:2013 and because the periodic tests of IEC 61672-3:2013 cover only a limited subset of the specifications in IEC 61672-1:2013.

Least Uncertainties of Measurement -			
Acoustic Tests		Environmental Conditions	
125Hz	±0.12dB	Temperature	±0.2°C
1kHz	±0.11dB	Relative Humidity	±2.4%
8kHz	±0.13dB	Barometric Pressure	±0.015kPa
Electrical Tests	±0.10dB		

All uncertainties are derived at the 95% confidence level with a coverage factor of 2.



WORLD RECOGNISED
ACCREDITATION

This calibration certificate is to be read in conjunction with the calibration test report.

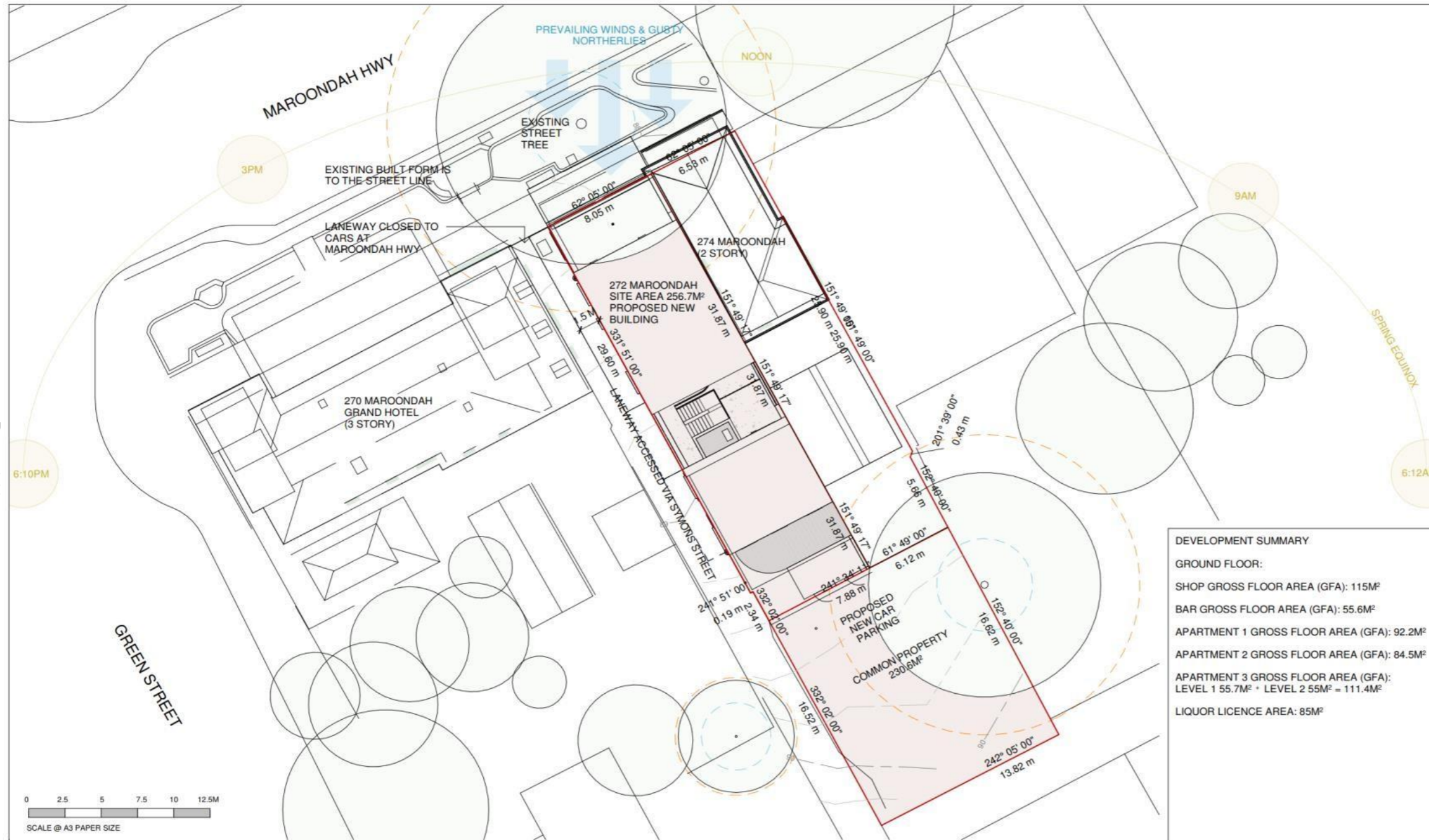
Acoustic Research Labs Pty Ltd is NATA Accredited Laboratory Number 14172.
Accredited for compliance with ISO/IEC 17025 - calibration.

The results of the tests, calibrations and/or measurements included in this document are traceable to SI units.

NATA is a signatory to the ILAC Mutual Recognition Arrangement for the mutual recognition of the equivalence of testing, medical testing, calibration and inspection reports.

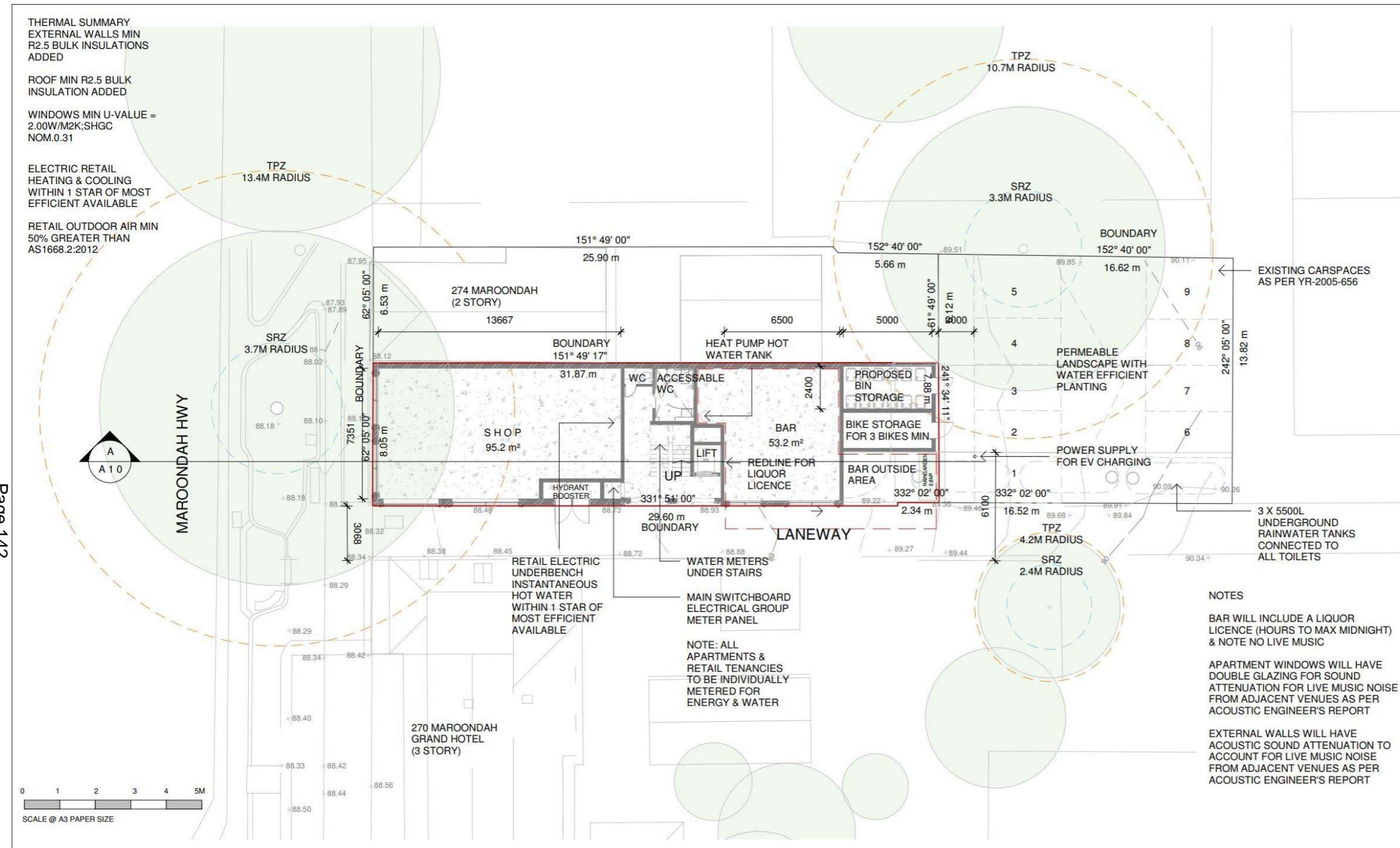
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Appendix C – Site Plans



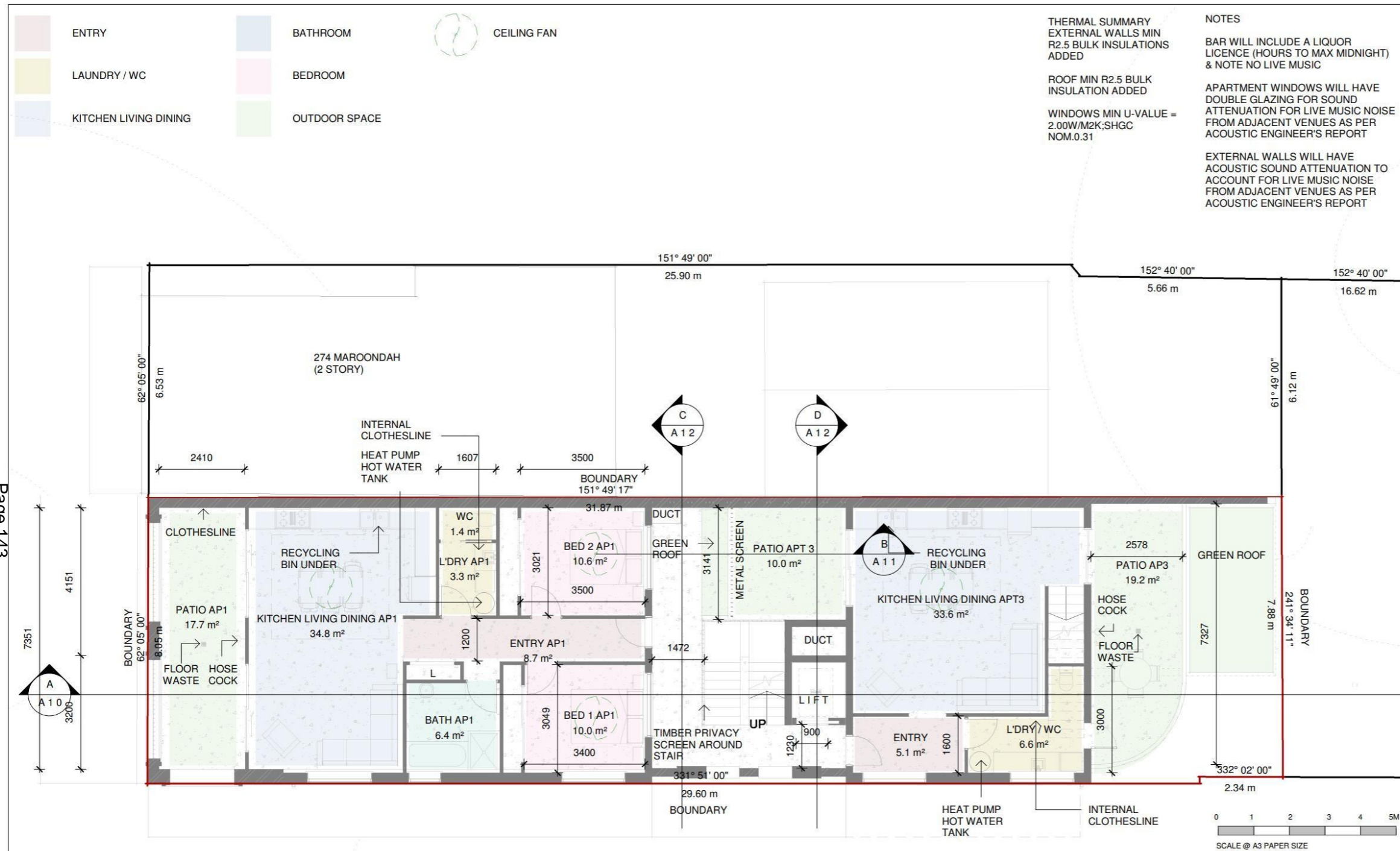
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	NOT FOR CONSTRUCTION	PROPOSED SITE PLAN	date	FEB 2022	
			drawn	JN	



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			drawn	JN	

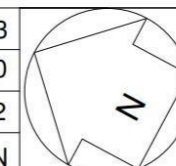


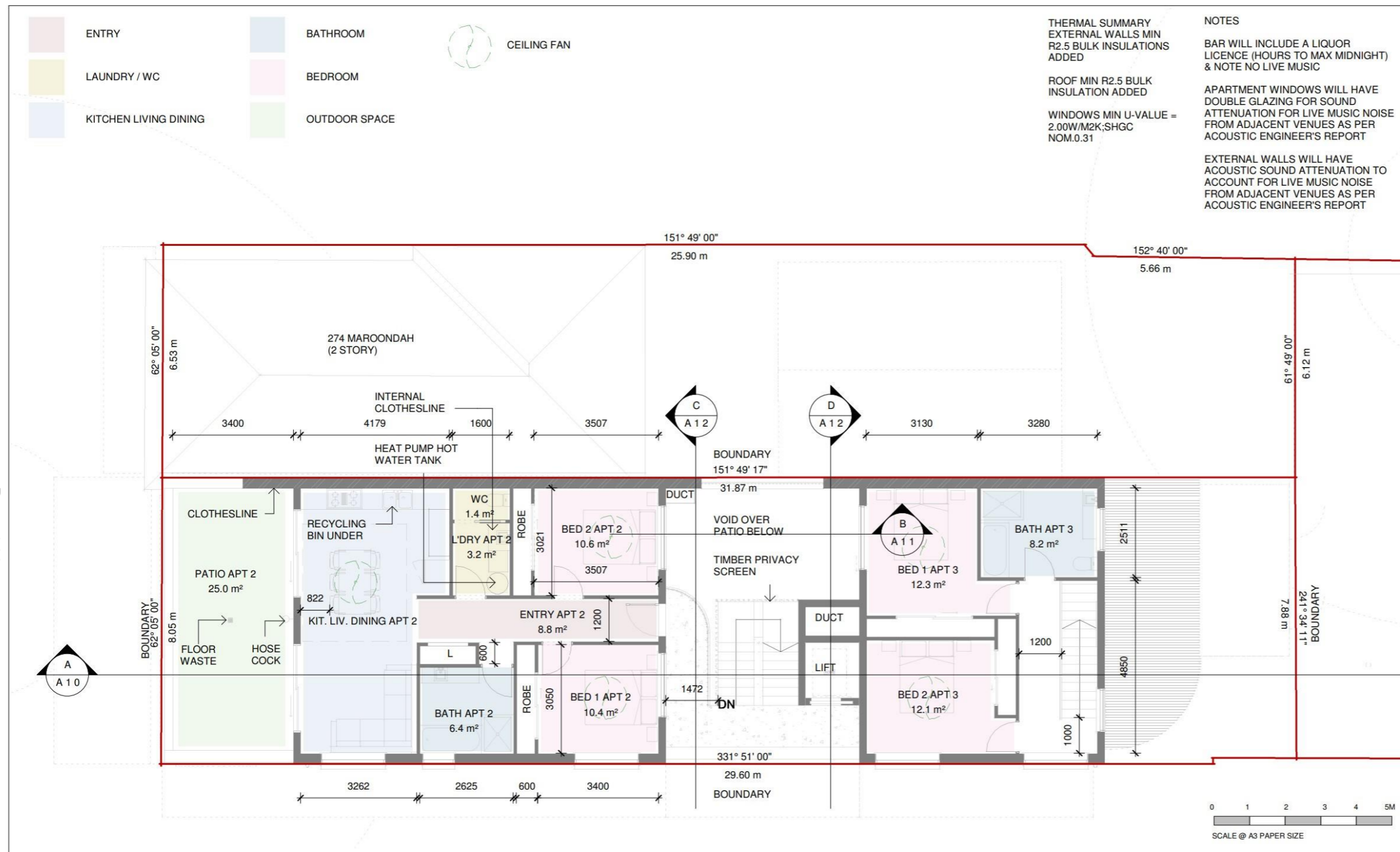
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organic architecture for environment, community and spirit

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NOT FOR CONSTRUCTION	PROPOSED LEVEL 1

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date	FEB 2022
drawn	JN





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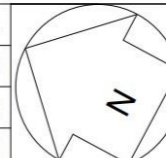
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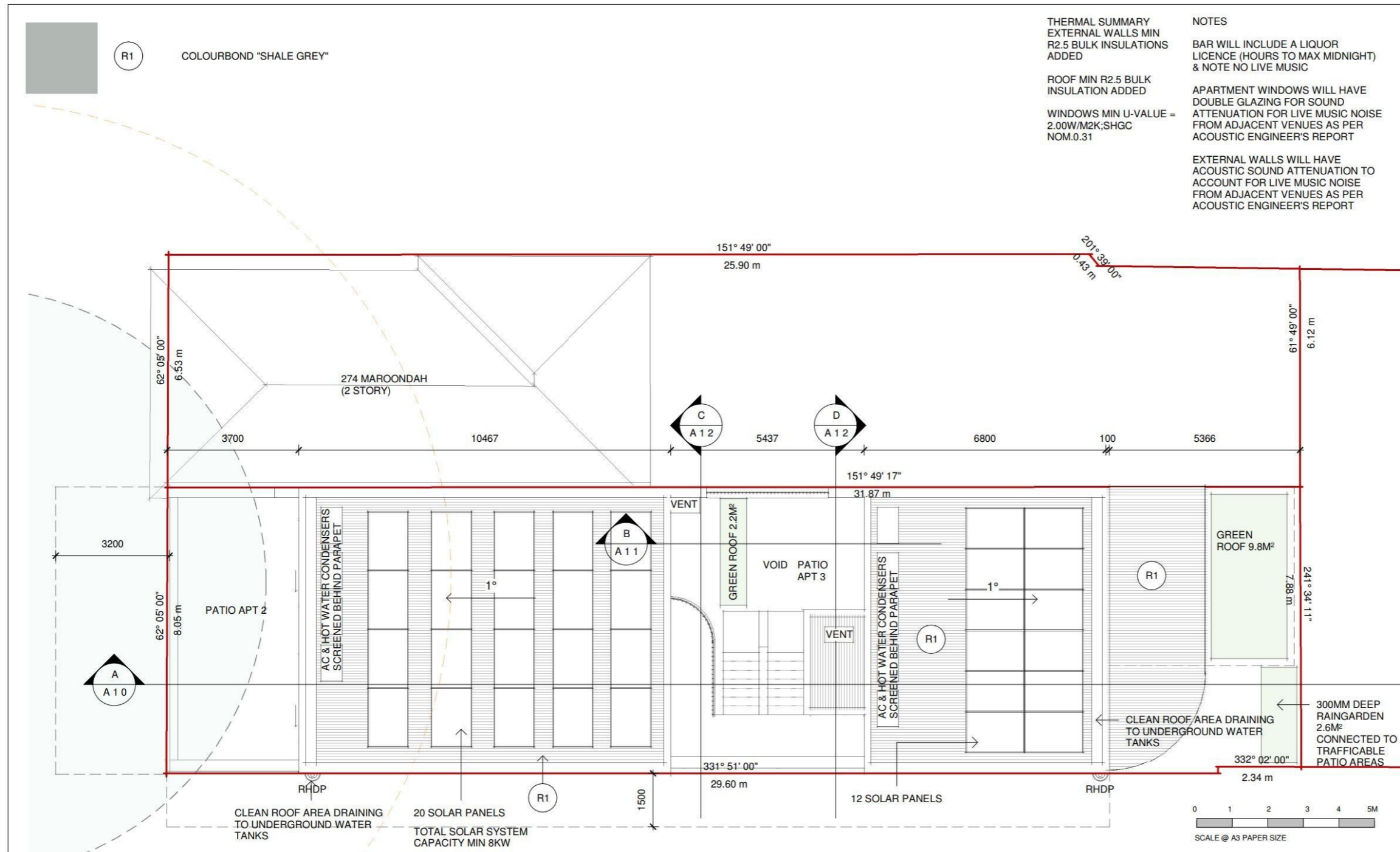
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PROPOSED LEVEL 2

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THERMAL SUMMARY
EXTERNAL WALLS MIN R2.5 BULK INSULATIONS ADDED
ROOF MIN R2.5 BULK INSULATION ADDED
WINDOWS MIN U-VALUE = 2.00W/M2K; SHGC NOM.0.31

NOTES
BAR WILL INCLUDE A LIQUOR LICENCE (HOURS TO MAX MIDNIGHT) & NOTE NO LIVE MUSIC
APARTMENT WINDOWS WILL HAVE DOUBLE GLAZING FOR SOUND ATTENUATION FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT
EXTERNAL WALLS WILL HAVE ACOUSTIC SOUND ATTENUATION TO ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT

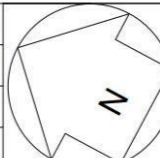
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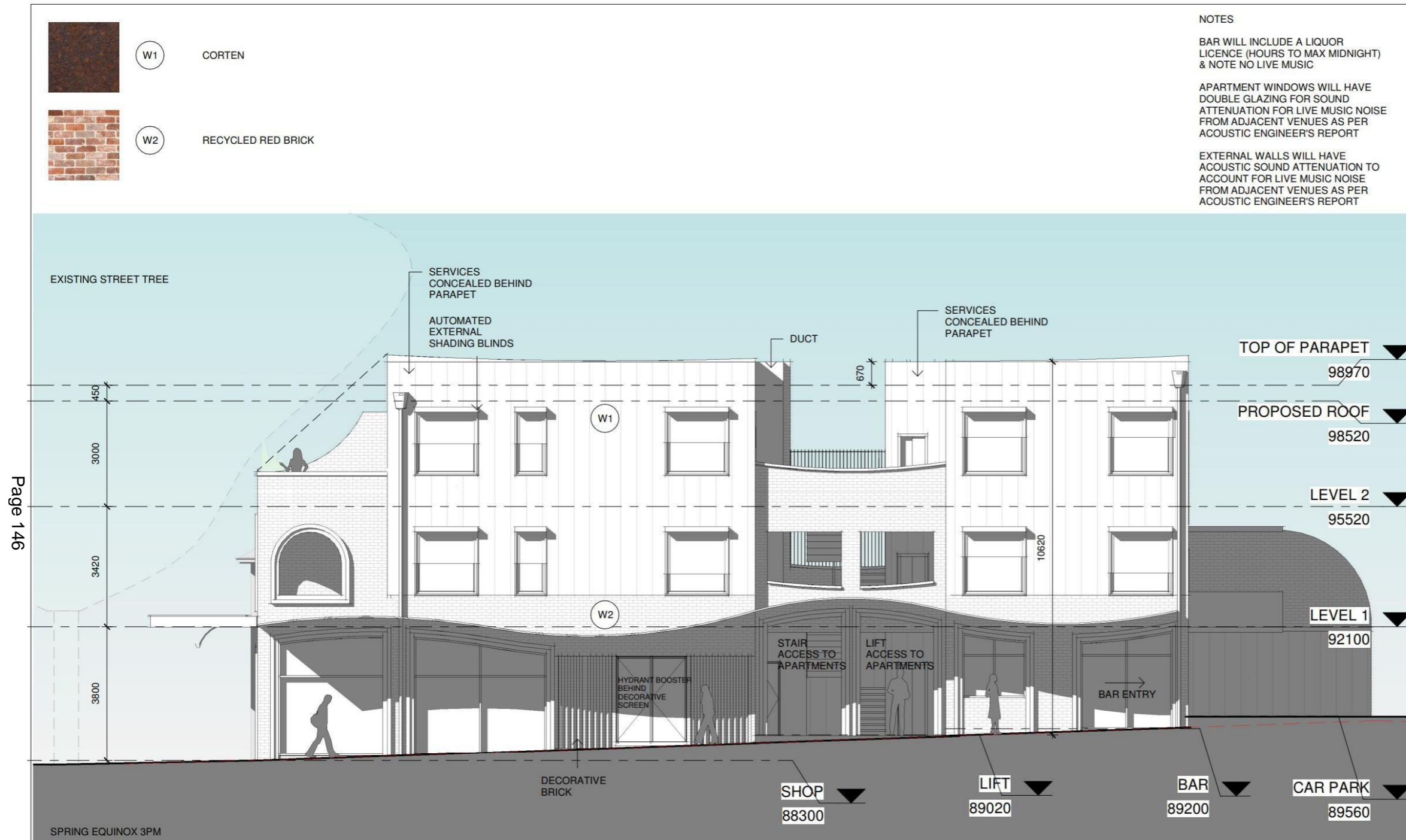
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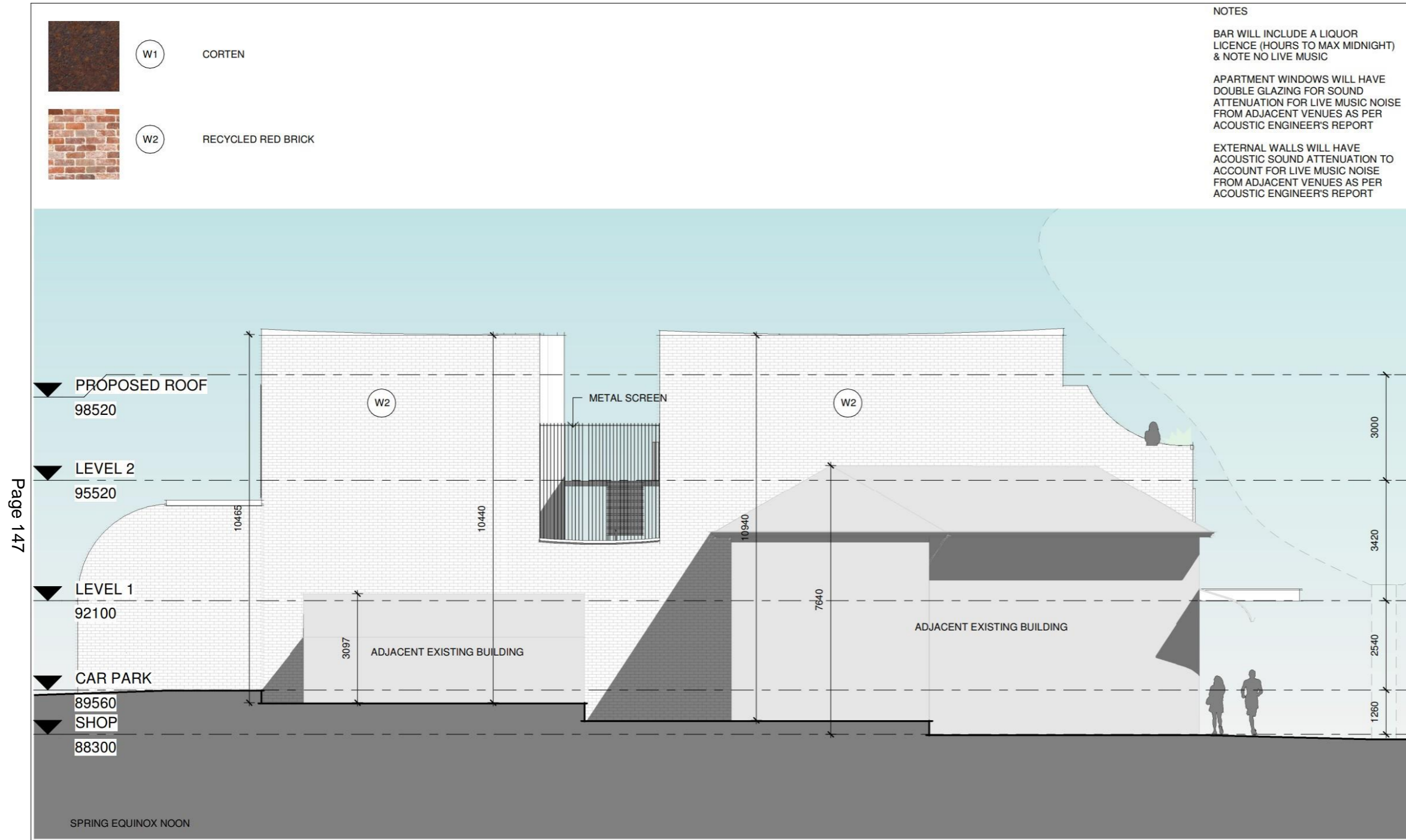
BAR WILL INCLUDE A LIQUOR LICENCE (HOURS TO MAX MIDNIGHT) & NOTE NO LIVE MUSIC

APARTMENT WINDOWS WILL HAVE DOUBLE GLAZING FOR SOUND ATTENUATION FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT

EXTERNAL WALLS WILL HAVE ACOUSTIC SOUND ATTENUATION TO ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT

Page 146

soft loud house architects 29 PARKVIEW AVENUE OCEAN GROVE tel: 1300 732 050 email: info@softloud.com.au <i>organic architecture for environment, community and spirit</i>	issued	DBF - SHOP	sheet	A 0 6
	PLANNING APPLN 2/2/2022	272 MAROONDAH HWY HEALESVILLE	scale @ A3	1 : 100
	NOT FOR CONSTRUCTION	PROPOSED WEST ELEVATION	date	FEB 2022
			drawn	JN



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soft loud house architects 29 PARKVIEW AVENUE OCEAN GROVE tel: 1300 732 050 email: info@softloud.com.au <i>organic architecture for environment, community and spirit</i>	issued	DBF - SHOP	sheet	A 0 7
	PLANNING APPLN 2/2/2022	272 MAROONDAH HWY HEALESVILLE	scale @ A3	1 : 100
	NOT FOR CONSTRUCTION	PROPOSED EAST ELEVATION	date	FEB 2022
			drawn	JN

272 Maroondah Highway Healesville

Traffic and Parking Assessment Report



Prepared for

SLHA

Prepared by

**Evan Boloutis
Director**

B.Eng (Civil), MEng Sc (Traffic), MBA

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0408 395 729

26 January 2022

Rev B

1. INTRODUCTION

1.1 Purpose of this report

This report sets out an assessment of the parking implications of the proposed development, with specific consideration of the following:

- the existing conditions and a description of the proposal;
- an assessment of the development's car parking requirements; and
- adequacy of the on-site and on-street car parking supply to accommodate both the statutory car parking requirements of the Yarra Ranges Planning Scheme and the car parking demands anticipated to be generated by the proposal;
- statutory bicycle parking requirements of the proposed development; and
- an assessment of the traffic impact of the proposed development.

1.2 Referenced documents

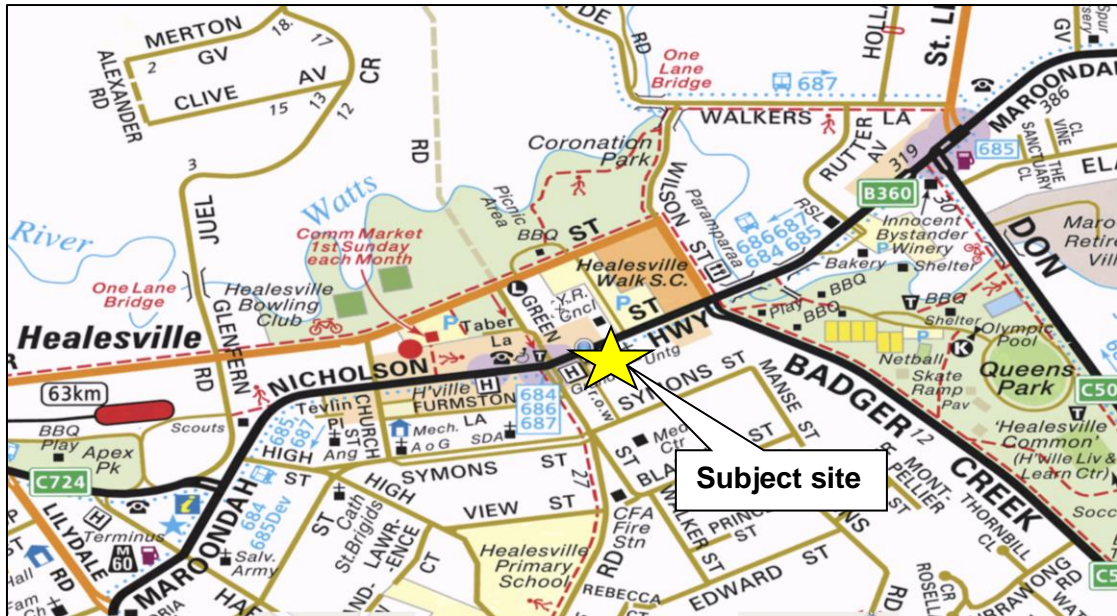
This report has been based upon a number of sources. These include:

- Site observations and information provided by the applicant;
- Melways maps, nearmap and Google maps;
- Building Code of Australia and Yarra Ranges Planning Scheme;
- AutoTURN computer software for the swept path analysis and AS 2890.1:2004;
- Yarra Ranges Planning Scheme, Yarra Ranges Travelsmart and PPTN maps and Public Transport Victoria web site;
- Parking surveys undertaken on Friday 10 December 2021 between 9 am and 9 pm and on Saturday 11 December 2021 between 9 am and 9 pm;
- Approved plan and layout for 274 Maroondah Hwy Healesville, prepared by LETAC Drafting Services, Sheet SITE, dated 18/07/05; and
- Layout plans of the proposed development prepared by soft loud house architects, Sheets A00 – A10, dated Jan 2022.

2. EXISTING CONDITIONS

2.1 Location and Land use

The site is located on the south side of Maroondah Highway approximately 25 m east of Green Street. The location of the subject site is shown in **Figure 2.1**.



Source: Copyright Melways Publishing Pty, Ltd. Reproduced from Melways online with permission

Figure 2.1: Location of the subject site

The subject site is occupied by a single storey office. The is located within a neighbourhood activity centre. The nature of the subject site and the surrounding land uses are shown in **Figure 2.2.**



Source: google maps

Figure 2.2: Nature of the subject site and the immediately surrounding land uses

The rear of the site contains a gravel car parking area, as shown in **Figure 2.3**.



Figure 2.3: Informal car parking area at rear of the site

2.2 Road Network

Maroondah Highway is a declared arterial road with an undivided cross section typically containing a traffic and parking lane in each direction.

Photos showing the cross section of Maroondah Highway looking to the east and west are shown in **Figures 2.4** and **2.5**, respectively.



Figure 2.4: Maroondah Highway looking east



Figure 2.5: Maroondah Highway looking west

A laneway (Furmston Lane) abuts the site's southern site boundary. The laneway extends approximately 80 m east of Green Street and provides vehicular and pedestrian access to the rear of the properties abutting the south side of Maroondah Highway.

The cross section of the laneway is demonstrated through a photo shown in **Figure 2.6**.



Figure 2.6: Laneway looking east from rear of site

A laneway abuts the site's western boundary and provides vehicular access to the rear car park. This laneway also provides a pedestrian connection between Furmston Lane and Maroondah Highway. The cross section of the laneway is demonstrated through a photo shown in **Figure 2.7**.

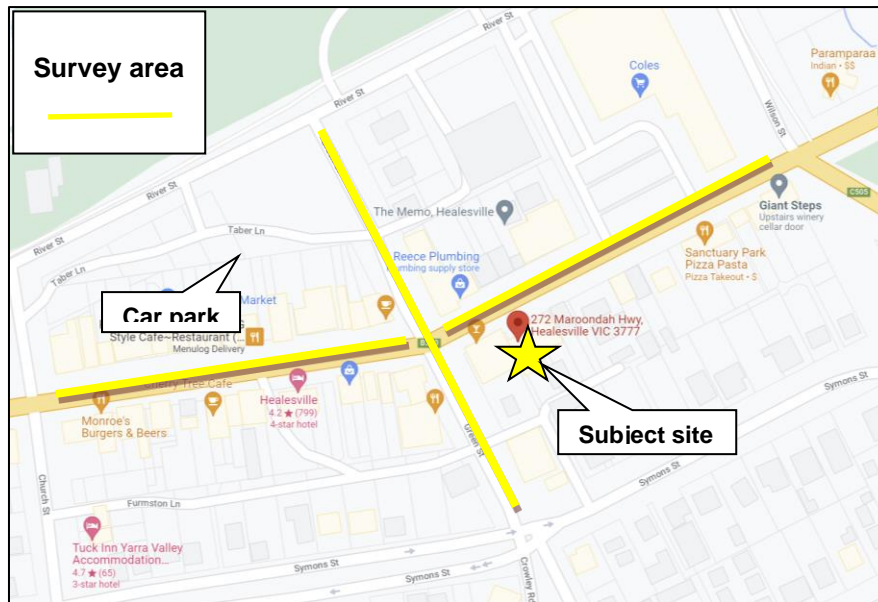


Figure 2.7: Laneway looking north from Furmston Lane

2.3 Existing Parking Supply and Demand

To establish the existing parking demands in the nearby on-street car parking areas, parking observations were undertaken in the immediately surrounding area on Friday 10 December 2021 between 9 am and 9 pm and on Saturday 11 December 2021 between 9 am and 9 pm.

Having regard to the above, the area included for the parking observations correspond to a distance of up to around 175 m from the subject site, as shown in **Figure 2.8**.



Source: google maps

Figure 2.8: Survey area adopted for the parking survey

The results of the surveys, which are summarised in **Attachment A**, indicated that the peak car parking demand during the:

- Friday daytime period occurred at 2 pm and corresponded to 92 cars (in a maximum of 169 spaces) or 54 % of the available parking supply;
- Friday evening period occurred at 7 pm and corresponded to 52 cars (in a maximum of 169 spaces) or 31 % of the available parking supply;
- Saturday daytime period occurred at 11 am and corresponded to 94 cars (in a maximum of 169 spaces) or 56 % of the available parking supply; and
- Saturday evening period occurred at 7 pm and corresponded to 57 cars (in a maximum of 169 spaces) or 34 % of the available parking supply.

2.4 Sustainable Transport Modes

2.4.1 Public Transport

There is a good provision of public transport services which operate adjacent to or in close proximity to the site. The various public transport services within close proximity to the site include:

Train

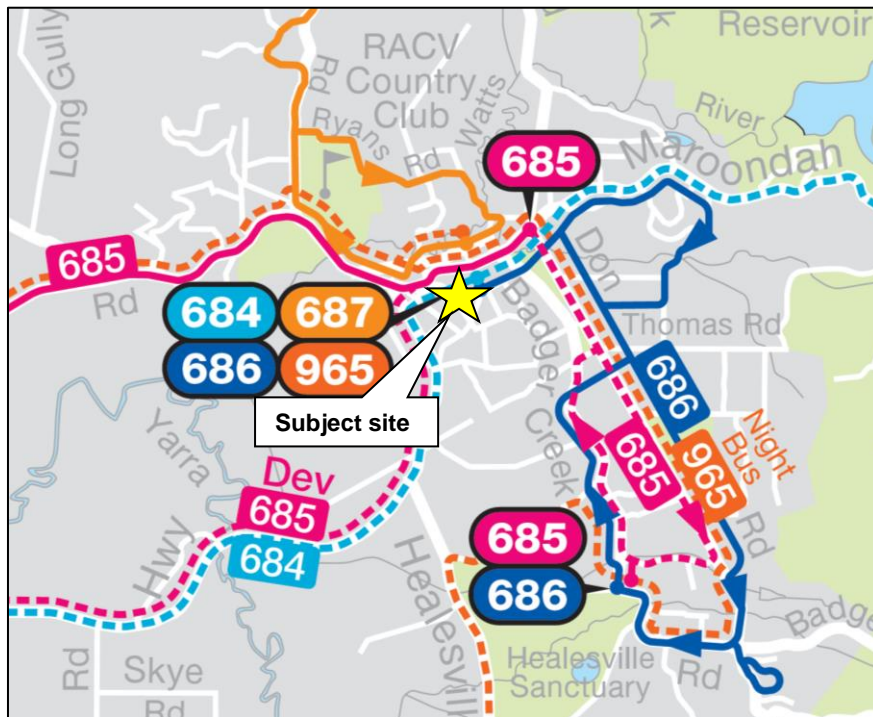
Healesville railway station is located 800 m west of the site

Bus

- Bus route 684 operates between Melbourne and Eildon;
- Bus route 685 operates between Lilydale and Healesville;
- Bus route 686 operates between Healesville and Badger Creek;
- Bus route 687 operates between Chum Creek and Healesville; and

- Bus route 965 is a night bus which operates between Lilydale and Yarra Glen loop via Woori Yallock and Healesville.

The public transport services in close proximity to the subject site are shown in **Figure 2.9**.



Source: Public Transport Victoria

Figure 2.9: Public transport services in the vicinity of the site

2.4.2 Bicycle Facilities

The Shire of Yarra Ranges is well serviced by an extensive network of on- and off-road bicycle routes linking the municipality with the surrounding municipalities.

The bike network in the vicinity of the site comprises of exclusive bicycle lanes along Maroondah Highway as shown in **Figure 2.10**.

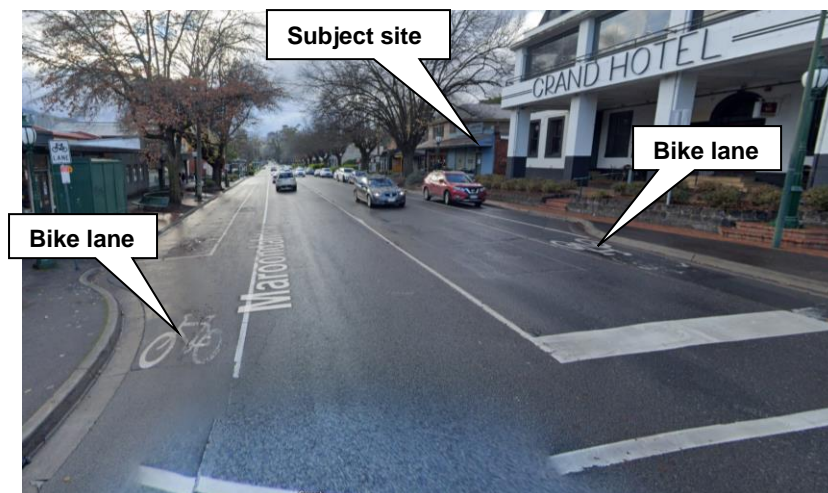


Figure 2.10: Bicycle lanes in the vicinity of the site

3. THE PROPOSAL

It is proposed to demolish the existing structures and construct a three level mixed use development with the following breakdown of land use components:

- Retail shop: (96.3 sqm)
- Bar (53.2 sqm) maximum of 20 persons at one time
- 3 x two bedroom dwellings

It is understood from discussions with the applicant that the proposed hours of operation for the shop will be between daytime hours on weekdays and on Saturdays and the operating hours of the bar will be between 4 pm and 11 pm.

Information provided by the applicant indicate that the proposed shop will have one staff member and the bar will have two staff at any one time.

A total of five spaces will be allocated to the proposed land uses on the site from within an approved car park layout to the rear of Nos. 272 and 274 Maroondah Highway, as shown in **Attachment B**.

One space will be allocated to each of the two bedroom dwellings and one space will be allocated for staff of the shop and one space for staff of the bar. Customers of the retail shop and bar will be required to park in the on-street spaces.

Access to the rear car parking area will be provided via the rear laneway.

The layout of the proposed car parking area is shown in **Attachment C**.

4. CAR PARKING

4.1 Statutory Car Parking Requirements

The statutory requirements for car parking are set out in Clause 52.06 of the Yarra Ranges Planning Scheme, with parking rates stipulated in the table to Clause 52.06-5.

The development's Column A statutory parking requirements for the proposed development is summarised as follows

- | | |
|---------------|--|
| • Residential | <i>One space to each one or two bedroom dwelling</i> |
| • Shop | <i>4 spaces to each 100 sqm leasable floor area</i> |
| • Bar | <i>0.4 spaces per patron permitted</i> |

In addition, reference to the Building Code of Australia indicates that, for retail use, there is a requirement to provide one disabled parking space.

The Building Code of Australia further states that a disabled bay can be provided as a conventional parking bay within the car park containing up to five spaces.

Application of the statutory parking requirements to the development's proposed land uses indicates a car parking requirement of 14 spaces, in accordance with the following breakdown.

- *Residential* $3 \times 1 = 3 \text{ spaces}$
- *Shop* $4 \times 96.3/100 = 3 \text{ spaces}$
- *Bar* $0.4 \times 20 = 8 \text{ spaces}$

Given that five on-site spaces are provided, the proposed development has a statutory parking deficiency of nine spaces. Consent is therefore required for the waiver of nine parking spaces.

In instances where the statutory requirements are not being met, a planning permit can be granted to reduce the car parking requirement, subject to Clause 52.06-6 of the Yarra Ranges Planning Scheme. The requirement can be reduced to zero where appropriate.

The provisions draw a distinction between the assessment of likely demand for parking spaces, and whether it is appropriate to allow the supply of fewer spaces. These two separate considerations and their respective factors considered relevant to this planning permit application are listed in Section 4.2.

4.2 Car Parking Considerations

4.2.1 The car parking demand likely to be generated by the use

(a) Multi-purpose trips within an area

It is considered that a proportion of customers to the proposed shop/bar are likely to have arrived into the area as workers of the nearby businesses or to shop within the nearby shops located within the Local Neighbourhood Activity Centre.

(b) Short-stay and long-stay parking demand

Shop

An assessment of the car parking requirements was undertaken based upon surveys undertaken of shops by consultants.

Typically, shops can be expected to generate around 1 to 2 staff members per 100 sqm shop with an additional peak of two customers per 100 sqm shop.

On the basis of the above, it is expected that the proposed shop will generate up to four staff and five customers at any one time during the peak weekday and Saturday daytime periods.

During the weekday evening and Sunday periods, the shops are unlikely to trade and if this is the case, no parking demands will occur during these periods.

Bar

During the peak periods, that is during the Friday and Saturday evening periods, it is expected that customers will stay longer due to the consumption of alcohol, and as such, will more likely arrive at the site via alternative transport methods than a private motor vehicle, such as cycling, walking, taxi, uber or public transport.

The peak parking demands anticipated to be generated by the proposed bar have been assessed based upon the parking demand characteristics of the Barton Fink (bar/ /lounge/café)

Barton Fink is located at 816 High Street Thornbury and is permitted to have up to 100 patrons at any one time. The premises trades between 4 pm and 12 midnight (Sunday), 11 pm (Tuesday, Wednesday) and 1 am (Thursday to Saturday) and is closed on Mondays.

Interview surveys were undertaken of both staff and patrons on Friday 9 February 2018 between 6 pm and 10 pm, the results of which indicate that:

- There are four staff at the premises, of which three staff drove and parked in on-site spaces to the rear of the site and one staff arriving by public transport/walking.
- During the survey period, there were 88 customers who arrived at the site using the following modes of travel:
 - 22 car driver
 - 45 walked/dropped off/car passenger
 - 11 public transport
 - 9 taxi/uber
 - 1 bike
- The number of customers who arrived as a car driver represent 25 % of all customers or a ratio of 0.22 spaces per patron permitted.
- There was a peak person accumulation of 74 customers at the premises between 9 pm and 9.30 pm.

On the basis of the above, application of the surveyed rates to the proposed bar results in an anticipated peak staff parking demand of two staff spaces and a customer parking demand of four spaces.

(c) Availability of public transport in the locality

As detailed in section 2.4.1, the development site is well served by public transport services with a railway station and five bus routes operating in close proximity to the proposal. The bus stop is located along Green Street in close proximity to the proposed development, as shown in **Figure 4.1**.



Source: Google maps

Figure 4.1: Location of nearby bus stops

An assessment of the timetables of the various public transport services indicate that each service operates during the time periods which coincide with the proposed uses during the weekday and weekend daytime and evening periods.

(d) The convenience of pedestrian and cyclist access to the site

The site benefits from pedestrian and cycle infrastructure and facilities in the area as detailed in section 2.4.2.

Footpaths are provided along both sides of Maroondah Highway and in the nearby local roads within the immediately adjacent area to provide convenient access for pedestrians between the front of the site and the on-street car parking supply within the surrounding area.

Similarly, an excellent network of on- and off-road bike lanes are provided adjacent to and within the surrounding area to provide convenient access for cyclists to and from the site.

(e) The provision of bicycle and end of trip facilities for cyclists

Clause 52.34 of the Yarra Ranges Planning Scheme seeks to encourage cycling as a mode of transport with the provision of secure, accessible and convenient bicycle parking spaces.

The statutory bicycle parking requirements (Clause 52.34 of the Yarra Ranges Planning Scheme) of the proposal are set out in **Table 4.1**.

Table 4.1: Assessment of Statutory Bicycle Parking Requirements

Description	Size	Bicycle Parking Rate		Bicycle Parking Requirement	
		Staff	Customers	Staff	Customers
Shop	96.3 sqm	1 to each 600 sqm LFA if LFA > 1,000 sqm	1 to each 500 sqm LFA if LFA > 1,000 sqm	0 space	0 space
Bar #	53.2 sqm	1 to each 600 sqm LFA if LFA > 1,000 sqm	1 to each 500 sqm LFA if LFA > 1,000 sqm	0 space	0 space

Note: LFA = leasable floor area # rate assumed for shop for purpose of analysis

Application of the statutory bicycle parking requirements to the proposed shop/bar indicate that there are no bicycle requirements for staff or customers of the shop/bar.

Given that the dwellings are less than four storeys, there are no bicycle statutory bicycle parking requirements for the proposed dwellings.

Notwithstanding the above, it is noted that a bicycle storage area is located at the rear of the development to accommodate any staff bikes.

4.2.2 Assessing whether fewer spaces should be provided

(a) Car Parking Availability

The results of the car parking surveys, which are summarised in Section 2.4, indicate that the peak on-street car parking demands in the vicinity of the proposal equate to an occupancy rate of:

- Friday daytime period, a peak occupancy rate of 54 % (77 vacancies) at 2 pm;
- Friday evening period, a peak occupancy rate of 31 % (117 vacancies) at 7 pm;
- Saturday daytime survey period, a peak occupancy rate of 56 % (75 vacancies).at 11 am; and
- Saturday evening survey period, a peak occupancy rate of 34 % (112 vacancies); at 7 pm.

The assessment undertaken in Sections 4.1 and 4.2.1 (b) indicates that the development has a statutory parking deficiency of nine spaces.

The assessment indicates that the proposed development's statutory parking deficiency of nine spaces is able to be accommodated within the available on-street spaces.

As a result, the development is not anticipated to adversely impact upon the amenity of the surrounding residential area.

(b) Any adverse economic impact a shortfall of parking may have on the economic viability of an activity centre

The results of the parking surveys (section 2.3) indicate that there are an adequate number of available on-street parking spaces to accommodate the statutory parking deficiency for the proposed development.

Further, as stated in section 4.2.1 (a), it is considered that a proportion of customers to the proposed shop/bar are also likely to have arrived into the area as workers of the nearby businesses or to shop within the nearby shops located within the local neighbourhood activity centre.

On this basis, it is considered that the proposed development is not considered to represent an adverse impact to the economic viability of the local neighbourhood activity centre, but rather compliment and support the viability of the adjacent local neighbourhood activity centre.

(c) The impact of fewer spaces on local amenity

The assessment undertaken in Section 4.1 indicates that the proposed development will have a statutory parking deficiency of nine spaces.

The results of the parking surveys and subsequent assessment indicates that there is an abundance of available parking spaces in the nearby on-street parking areas in close proximity to the proposal to accommodate the proposal's statutory parking deficiency during the peak Friday and Saturday daytime periods.

On this basis, it is considered that the proposal would not represent any adverse impact upon the amenity of the surrounding area.

(d) Access to the provision of alternative transport modes

The proposed development has convenient access to a railway station, five bus routes, a network of on-street and off-road shared pathways for cyclists, cyclist infrastructure, footpaths provided along both sides of the roads within the surrounding area for pedestrians which

provide a range of alternatives to private car travel for staff of the proposed development, as well as their customers.

4.3 Adequacy of Parking Provision

The proposed development is considered to represent a minimal impact on the surrounding road network having regard to the following characteristics:

- The proposed development will have a statutory parking deficiency of nine spaces;
- The results of the parking surveys (section 2.3) indicate that there are an adequate number of available on-street parking spaces to accommodate the statutory parking deficiency for the proposed development;
- The likelihood of customers to the proposed development arriving to the area as part of a multi-purpose trip, that is, arriving principally (and parking) in the area to visit an existing retail or commercial uses within the area and also visiting the proposed shop;
- The availability of public transport in the immediate area, namely a railway station and five bus routes which operate adjacent to and in close proximity to the proposal;
- The availability of a network of shared pathways for cyclists and pedestrians, on- and off- road bicycle routes for cyclists, bicycle infrastructure and pedestrian pathways in the immediate area which provide a range of alternatives to private car travel for staff of the proposed development as well as their customers, if desired; and
- The convenience of cyclist and pedestrian access to the site.

Based upon the above, it is considered that sufficient basis exists to grant dispensation to waive the development's statutory parking deficiency of nine parking spaces.

5. COMMERCIAL VEHICLE CONSIDERATIONS

5.1 Refuse

Bins used to store waste would be stored in a bin area at the rear of the site and would be serviced by a private contractor from the rear laneway.

5.2 Deliveries

Deliveries to the shop/bar are expected to be typically undertaken by small vans in the parking bays located within the local neighbourhood activity centre.

6.3 Loading Bay Requirements

The adequacy of loading facilities for new developments can be assessed having regard to Clause 93.04-2 of the Yarra Ranges Planning Scheme.

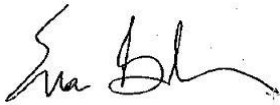
Specifically, the responsible authority must consider, amongst other things '*whether the movement of pedestrians and cyclists, and vehicles providing for supplies and waste removal are appropriately accommodated*'.

Reference to the layout plan indicates that while a loading dock facility has not been provided, any deliveries will be required to make use of the existing parking bays located within the local neighbourhood activity centre, as currently occurs for the majority of the shops/commercial premises located within the local neighbourhood activity centre.

7. CONCLUSIONS AND RECOMMENDATION

Having regard to the above, it is considered that:

- The proposed development has a statutory parking deficiency of nine spaces;
- The results of the parking surveys (section 2.3) indicate that there are an adequate number of available on-street parking spaces to accommodate the statutory parking deficiency for the proposed development; and
- Sufficient basis exists to grant dispensation to waive the development's statutory parking deficiency of nine spaces.



Evan Boloutis
Director
EB Traffic Solutions Pty Ltd

B.Eng (Civil), MEng Sc (Traffic), MBA

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Disclaimer

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ATTACHMENT A
RESULTS OF CAR PARKING SURVEYS

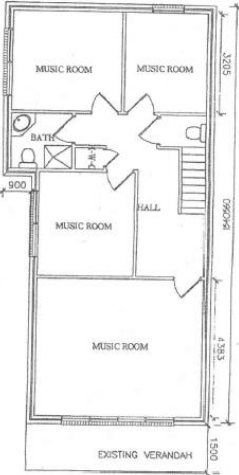
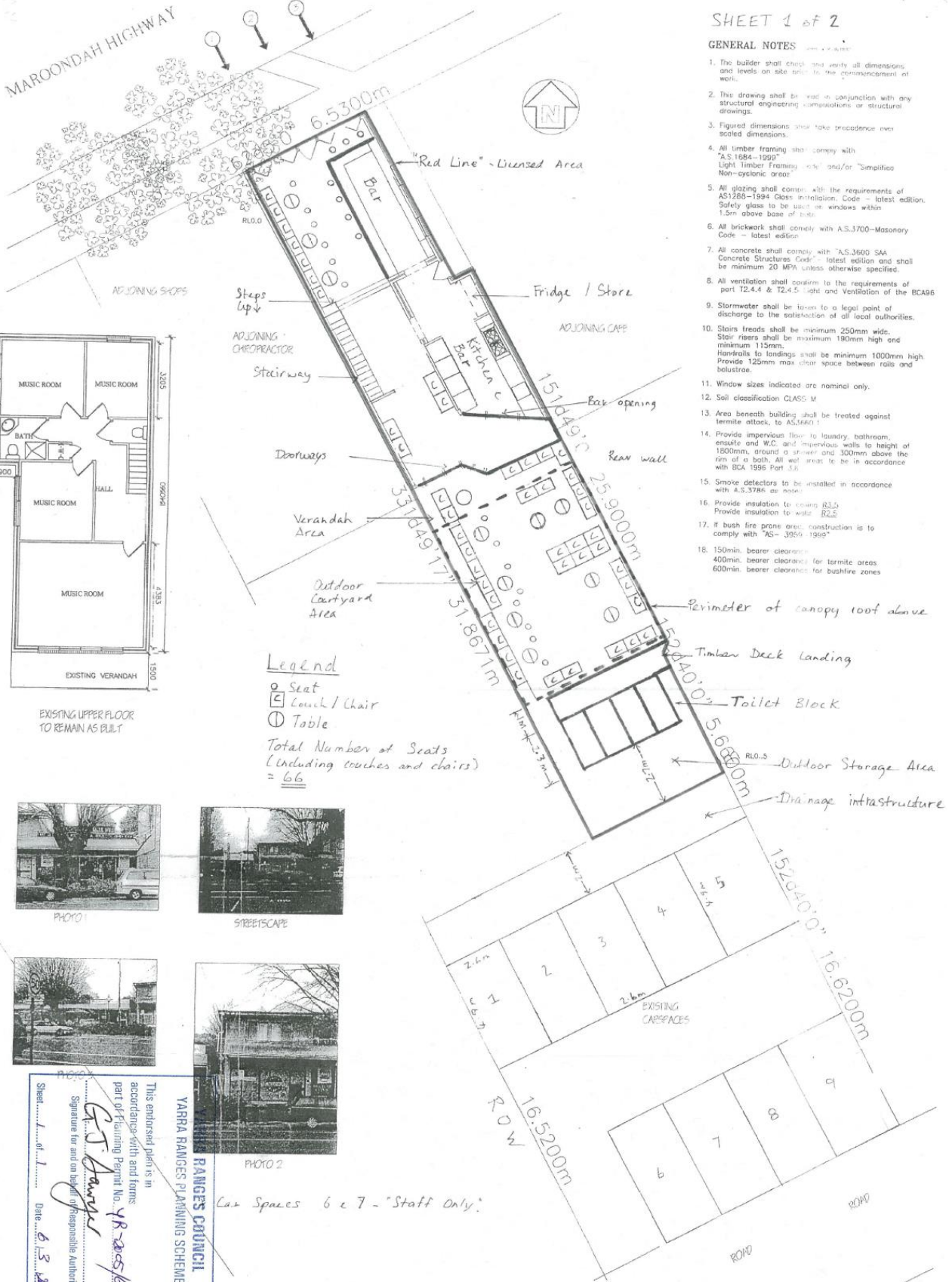
ROAD LENGTH	Max Spots	NUMBER OF PARKED VEHICLES												
		Friday 10 December 2021						Saturday 11 December 21						
		9 am	11 am	2 pm	5 pm	7 pm	9 pm	9 am	11 am	2 pm	5 pm	7 pm	9 pm	
ON-STREET														
MAROONDAH HIGHWAY														
Between Sophia Gve and Winscombe Ave														
<i>north side</i>														
1 hour, 8.30 am - 5.30 pm Mon-Fri, 8.30 am - 12.30 pm Sat	26	8	17	14	11	9	7	10	19	22	14	16	18	
P disabled	2	0	1	1	0	0	0	0	1	1	0	0	0	
<i>south side</i>														
1 hour, 8.30 am - 5.30 pm Mon-Fri, 8.30 am - 12.30 pm Sat	50	16	23	32	27	23	19	21	37	34	25	29	18	
P disabled	1	1	1	0	0	0	0	0	1	1	0	0	0	
GREEN STREET														
Between Symons St and River St														
<i>west side</i>														
2 hour, 8.30 am - 5.30 pm Mon-Sat	23	9	14	15	11	6	4	7	12	11	8	5	6	
<i>east side</i>														
2 hour, 8.30 am - 5.30 pm Mon-Fri, 8.30 am - 12.30 pm Sat	19	8	16	15	13	12	9	7	14	10	6	7	12	
OFF-STREET														
River Street Car Park														
<i>unrestricted parking</i>	48	14	16	15	9	2	0	8	10	6	2	0	0	
TOTAL (on-street and off-street)	169	56	88	92	71	52	39	53	94	85	55	57	54	

ATTACHMENT B
APPROVED CAR PARK LAYOUT

SHEET 1 of 2

GENERAL NOTES

- The builder shall check and verify all dimensions and levels on site prior to the commencement of work.
- This drawing shall be read in conjunction with any structural engineering computations or structural drawings.
- Figured dimensions shall take precedence over scaled dimensions.
- All timber framing shall comply with "AS 1684-1999" Light Timber Framing suitable for "Temperate Non-cyclonic areas".
- All glazing shall comply with the requirements of AS 1288-1994 Glass Installation Code - latest edition. Safety glass to be used in windows within 1.5m above base of hole.
- All brickwork shall comply with AS 3700-Masonry Code - latest edition.
- All concrete shall comply with "AS 3600 SAA Concrete Structures Code" - latest edition and shall be minimum 20 MPa unless otherwise specified.
- All ventilation shall conform to the requirements of part 12.4.4 & 12.4.5 Light and Ventilation of the BCA96.
- Stormwater shall be taken to a legal point of discharge to the satisfaction of all local authorities.
- Stairs treads shall be minimum 250mm wide. Stair risers shall be maximum 190mm high and minimum 115mm. Handrails to landings shall be minimum 1000mm high. Provide 125mm max clear space between rails and balustrade.
- Window sizes indicated are nominal only.
- Soil classification CLASS M.
- Area beneath building shall be treated against termite attack, to AS 4600.
- Provide impervious floor to laundry, bathroom, ensuite and W.C. and impervious walls to height of 1800mm, around a shower and 300mm above the rim of a bath. All wet areas to be in accordance with BCA 1996 Part 3.6.
- Smoke detectors to be installed in accordance with AS 3786 as noted.
- Provide insulation to ceiling B2.5
- Provide insulation to walls B2.2
- If bush fire prone area, construction is to comply with "AS-3958-1998"
- 150mm bearer clearance for termite areas
400mm bearer clearance for bushfire zones
600mm bearer clearance for bushfire zones



EXISTING UPPER FLOOR TO REMAIN AS BUILT

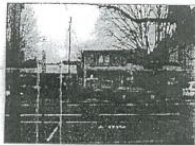
Legend

- Seat
- Couch / Chair
- ⊙ Table

Total Number of Seats (including couches and chairs) = 66



PHOTO 1



STREETSCAPE



PHOTO 2



PHOTO 2

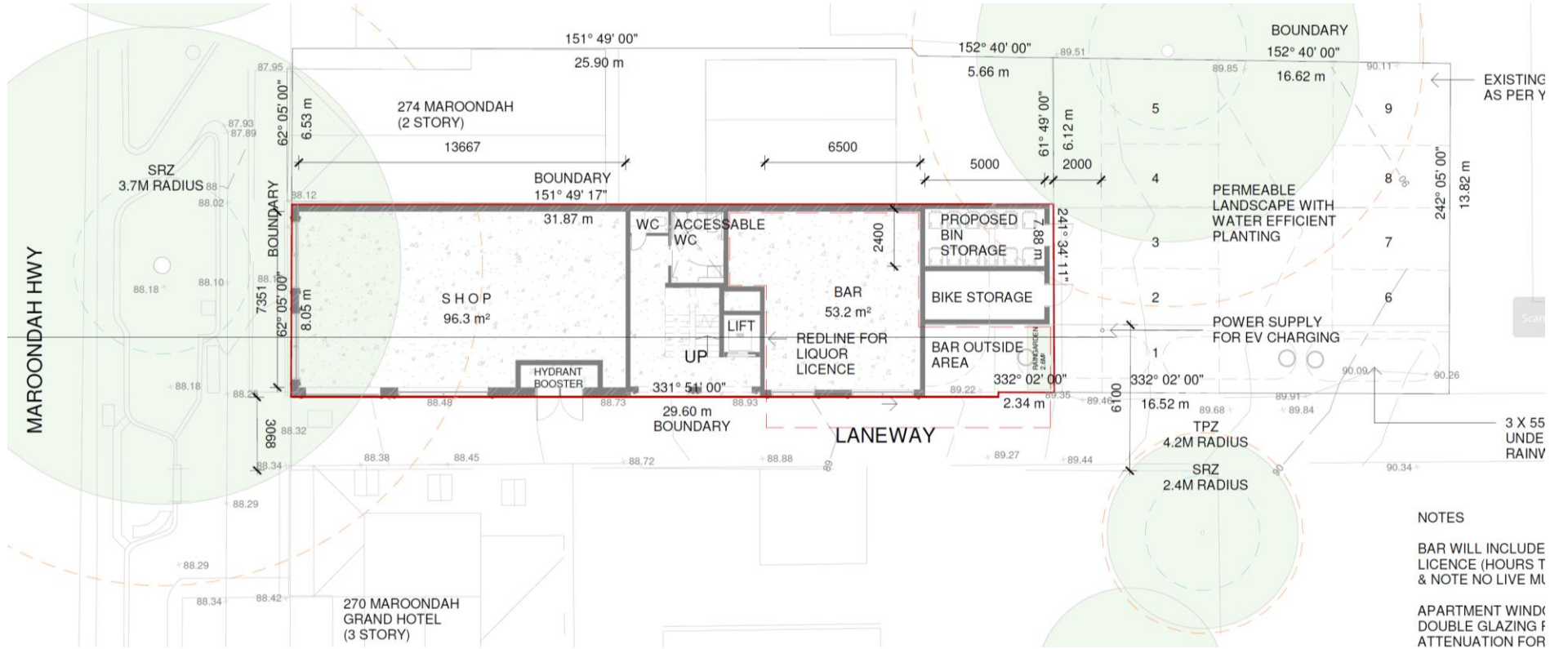
This endorsed plan is in accordance with and forms part of Planning Permit No. YR 2005/165
 Signature for and on behalf of Responsible Authority
 Date: 6.1.5.2005

YARRA RANGES PLANNING SCHEME
RANGES COUNCIL

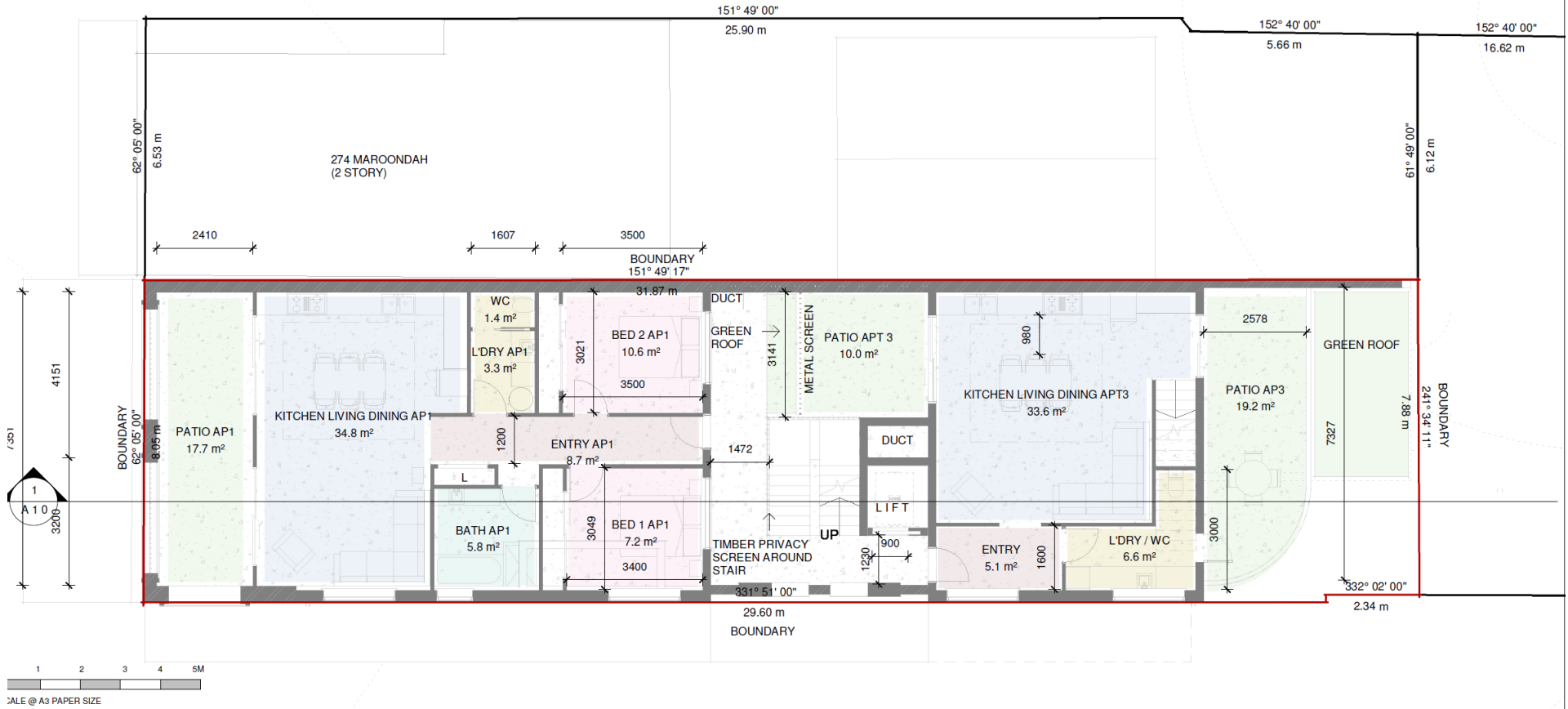
Car Spaces 6 & 7 - "Staff Only"

<p>2006 LETAC DRAFTING SERVICES May only be used with the permission of the Officer of Letac Drafting Services</p> <p>DIMENSIONS, DETAILS TO BE VERIFIED BEFORE PROCEEDING WITH ANY WORKS WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING FROM DRAWING</p> <p>File Location: F:\Drawings\Plan\Copy\274 MAROONDAH HIGHWAY 18-07-05.dwg, SITE, 07/11/2005 09:03:10 AM</p>		<p>Checked: [Signature]</p> <p>Drawn: LES</p>	<p>Builder</p>	<p>Proposed SHOP</p> <p>LETAC DRAFTING SERVICES Ph: 9735 3989 Registration No. 35-071944 Ab: 0411 225436 Date: 18/07/05 Sheet: SITE Scale: 1:100 Cont. No.</p>
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ATTACHMENT C
PROPOSED DEVELOPMENT



ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT



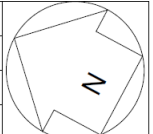
Page 168

soft loud house architects
 19 PARKVIEW AVENUE OCEAN GROVE
 ph: 1300 732 050 email: info@softloud.com.au
 organic architecture for environment, community and spirit

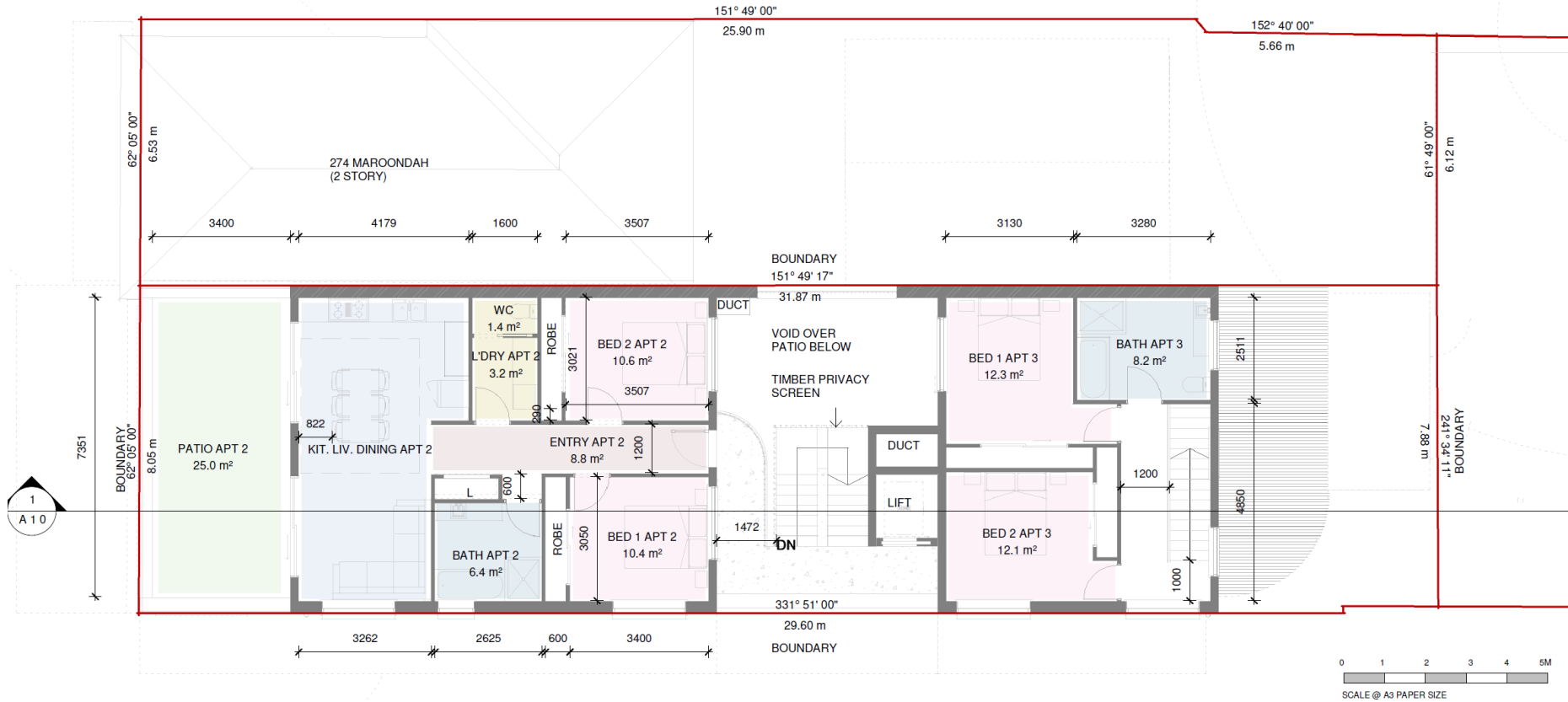
issued
 PLANNING APPLN 19/01/2022
NOT FOR CONSTRUCTION

DBF - SHOP
 272 MAROONDAH HWY HEALESVILLE
PROPOSED LEVEL 1

sheet A 0 3
 scale @ A3 1 : 100
 date JAN 2022
 drawn J N



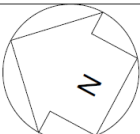
ACOUSTIC SOUND ATTENUATION TO ACCOUNT FOR LIVE MUSIC NOISE FROM ADJACENT VENUES AS PER ACOUSTIC ENGINEER'S REPORT



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issued	DBF - SHOP
PLANNING APPLN 19/01/2022	272 MAROONDAH HWY HEALESVILLE
NOT FOR CONSTRUCTION	PROPOSED LEVEL 2

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date	JAN 2022
drawn	JN



Arboricultural Report

272 MAROONDAH HWY, HEALESVILLE, 3777



Report prepared by
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BaAppSc (hort)

& Coral Jeffs

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December 2021

Healesville Plants

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Introduction

This arboricultural report has been prepared by Tabitha Barclay (*BaAppSc (hort)*) and Coral Jeffs (*BaAppSc (hort)*) under instructions by soft loud house architects for the owners at 272 Maroondah Highway, Healesville, located in the Yarra Ranges Council, where an on-site assessment of the trees is required to ascertain the impact of the proposed construction of shop & bar with apartment living above.

There were 3 trees to be addressed, 1 tree is located in the common property at the rear of the property, 1 is in the front – a street tree and 1 is on the neighbouring property to the west; all are numbered on the Site Plan. The size, health and any particular issues for each tree were noted. The general health of the trees assessed varies with some displaying deadwood, showing signs of stress and age, i.e. rot & epicormics. Of the 3 trees assessed, 1 is native and 2 are exotic species.

Site description

2.0

Tabitha Barclay and Coral Jeffs undertook this tree assessment in December 2021. Inspection was made at ground level and observations, recommendations and conclusions reached in light of our experience.

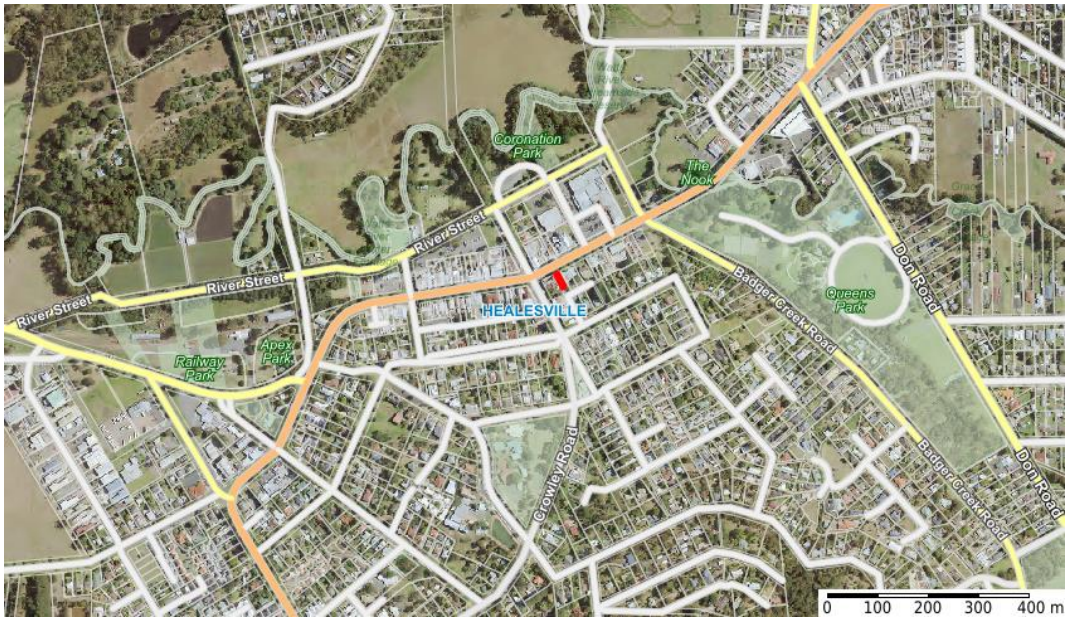
Council Property Number: 203715

Lot/Plan: Lot 1 PS445694

Vicmap SPI: 1\PS445694

Directory Reference: Melway 278 C1

The ~0.06-acre property is located on Maroondah Highway, Healesville, the property has recently been under the current ownership. It is ~89m ASL with a northerly aspect, the property currently consists of a single storey office space with no back-garden area. Two of the trees that have been assessed are in the rear carparking area and beer garden, off Maroondah Hwy and one is a street tree on the Maroondah Hwy. This property exists in a well -established residential area, on the main street in Healesville. There is a mix of smaller and larger properties in the immediate surrounds, with fragmented treed areas.



Map 1. Aerial image (Source Yarra Ranges Council Intramaps, 2020)



Map 1a). Close up aerial image (Source Yarra Ranges Council Intramaps, 2020)

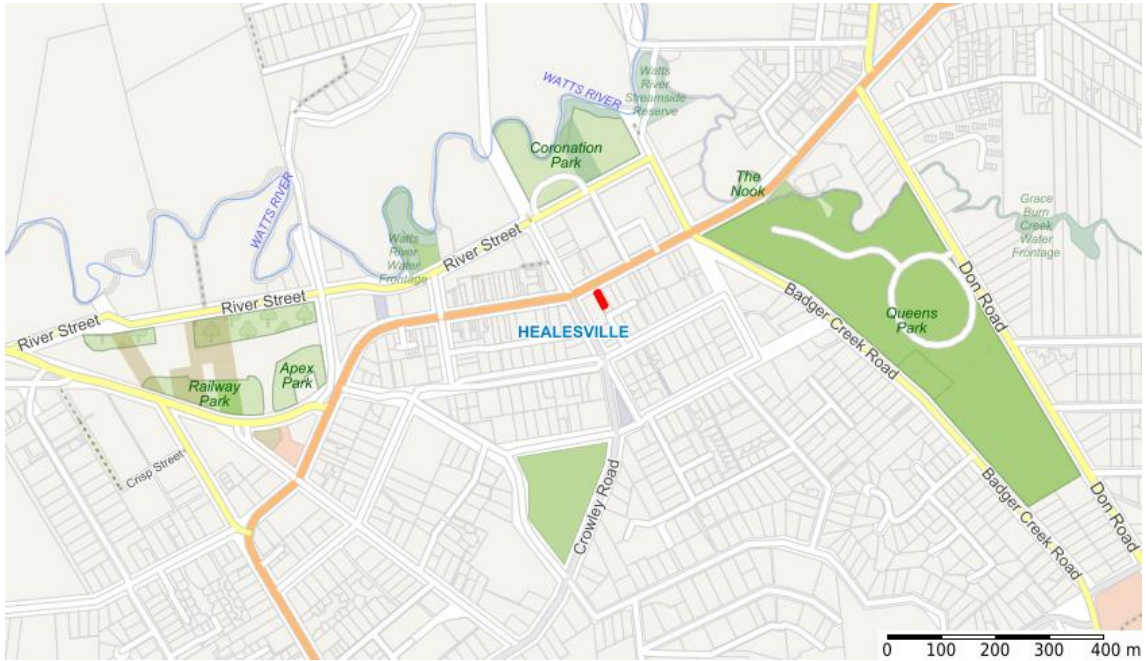
The site is zoned Commercial 1 Zone C1Z) with the planning overlays Bushfire Management Overlay – Schedule 1(BMO1), Design and Development – Schedule 12 (DDO12), Heritage Overlay – Schedule 428 (HO428) (no tree controls exist).

	Healesville Commercial Precinct
HO428 Incorporated plan:	
	Healesville Commercial Precinct

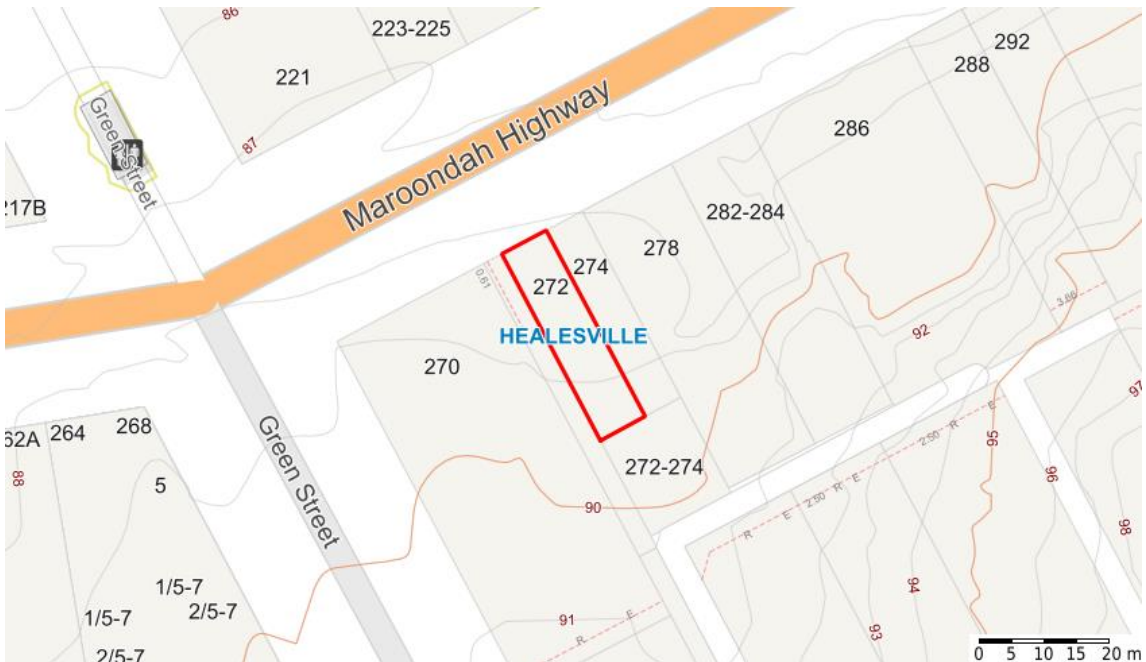
The original indigenous vegetation expected in this area is Highlands Southern Fall EVC 23- Herb-rich Foothill Forest with the predominant tree species being *Eucalyptus radiata*, *E. obliqua*, & *E. cypellocarpa*, and Yarra Ranges Vegetation Community 31

Candlebark Grassy Forest with the expected overstorey species being *Eucalyptus goiniocalyx*, *E. macrorhyncha*, *E. melliodora*, *E. obliqua*, *E. radiata* & *E. rubida*.

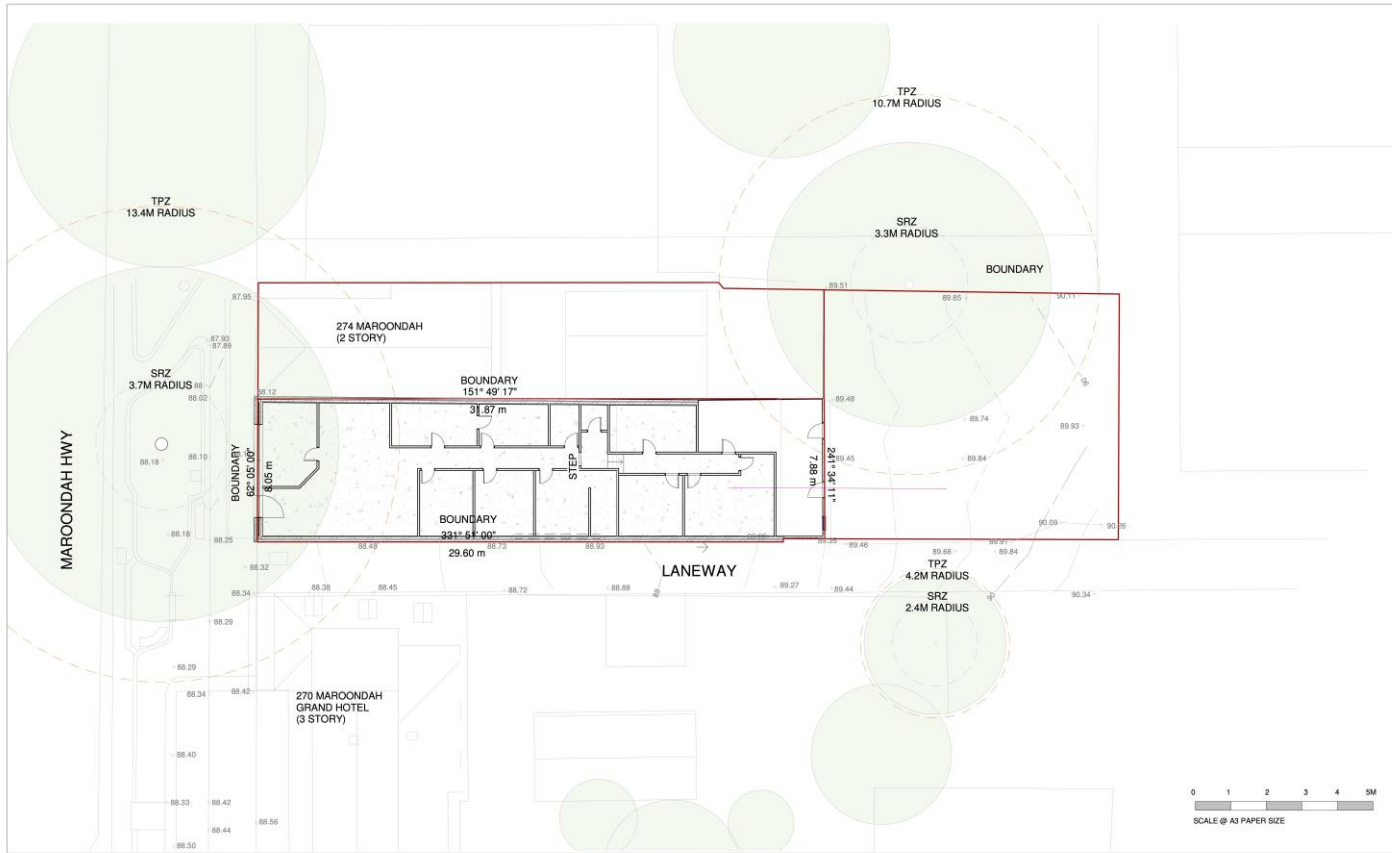
There is no remnant indigenous lower storey species present on the property. The block has long been cleared for commercial use.



Map 2. Location map (Source Yarra Ranges Council Intramaps, 2020)



Map 3. Contour map (Source Yarra Ranges Council Intramaps, 2020)



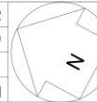
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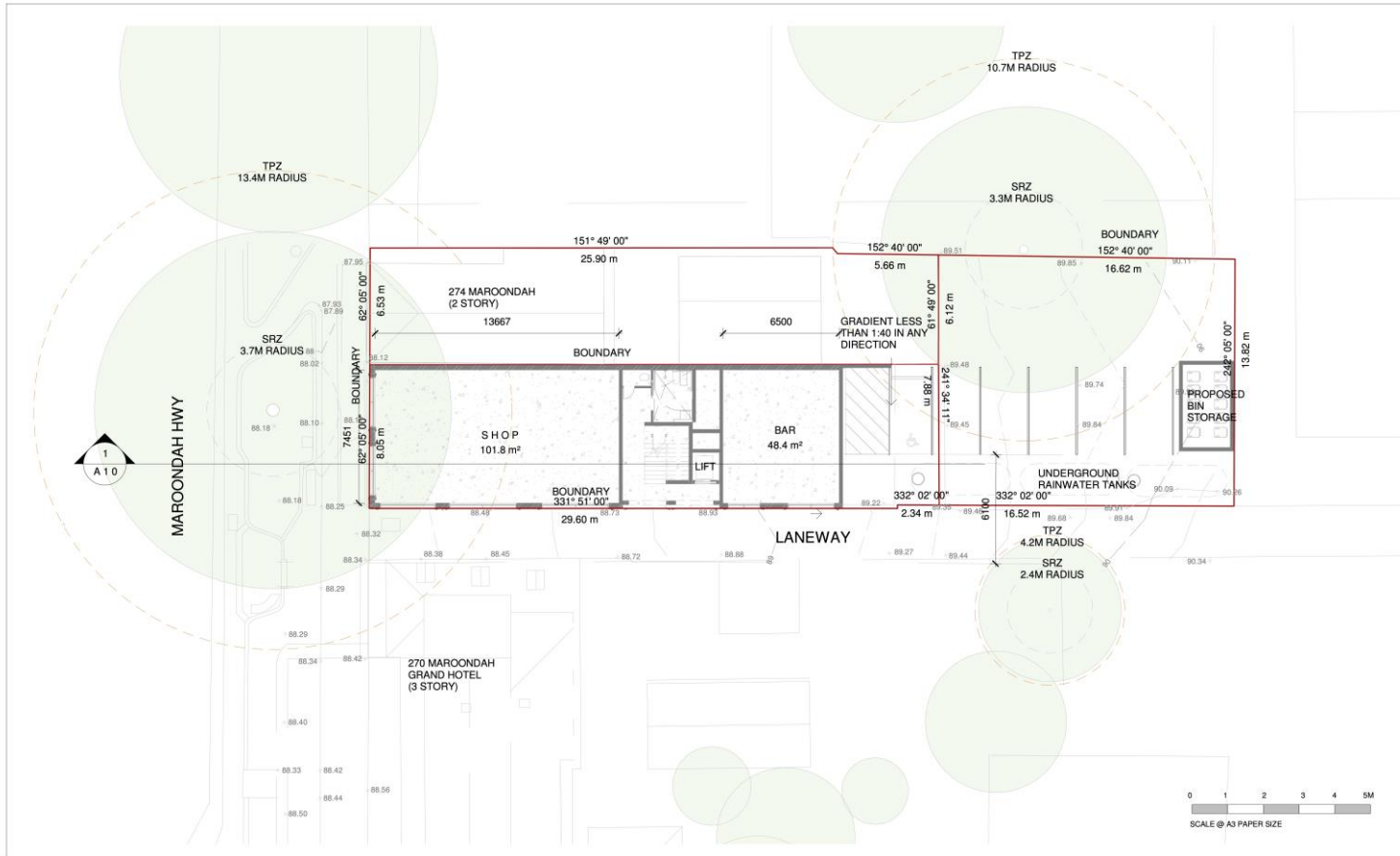
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Map 4. Site map existing conditions (rear area within TPZ of tree 2 is currently used as a carparking area and bin storage)

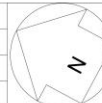


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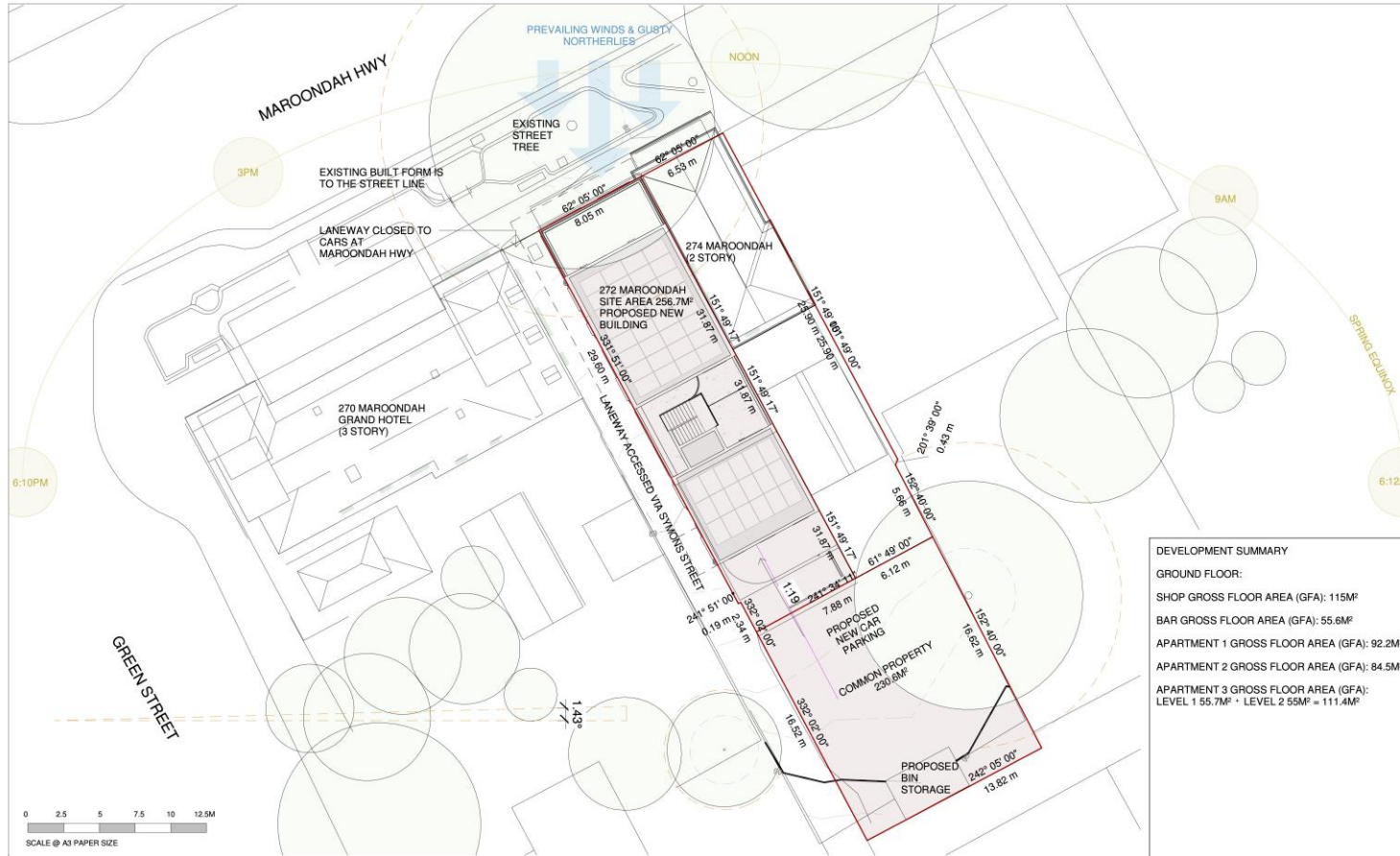
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drawn	J N



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Map 5. Proposed site plan showing trees and TPZ/SRZ and encroachment

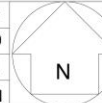


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Map 5a. Site map proposed

Table 1. Tree List at 272 Maroondah Hwy, Healesville

No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
1	<i>Ulmus procera</i>	112	13.4	3.7	22	N-S 20 E-W 20	Mat	High	10+ (With work)	3	2	4	High	Ret	NS. Growing in mulched garden bed as part of main road avenue of trees, existing rocks retaining wall, bitumen footpath, curb & channel, services and road within SRZ/TPZ, existing incursion ~90% into TPZ, was pollarded long ago – not maintained, scalloped/wide bifurcation – has been braced, rot & grass growing in centre of co-dependants, has had some pruning, lots of epicormics, fine & large deadwood.
2	<i>Ulmus procera</i> (English Elm)	42 + 38 + 68 =89	10.7	3.3	22	N-S 18 E-W 13	Mat +	Mod	15+	3	1	3	Mod	Ret	NDE/on edge of Common Property. Bifurcated from base – repeated, W co-dependant fused @1.2m, hollowing between co-dependants, fine & large deadwood, large broken branch in centre of canopy, lots of suckering up to 10m away, curb & channel, bitumen carpark within SRZ/TPZ – cracking concrete & bitumen,

No.	Species	DBH cm	TPZ m	SRZ m	Hgt- m	Wth- m	L.S.	Sig.	ULE yrs	Struct	Roots	Cpy	Ret Value	R/ Ret	Notes
															building within TPZ, existing incursion ~60% of TPZ, lots of epicormics.
3	<i>Grevillea robusta</i> (Silky Oak)	35 <i>estimated</i>	4.2	2.4 <i>estima- ted</i>	18	N-S 8 E-W 8	Mat	Mod	10+	4	2	4	Mod	Ret	NDW. Growing in beer garden of hotel, access not gained, some broken branches, high symmetrical bifurcation, has had some pruning, bitumen laneway, carparking, fences within SRZ/TPZ.

Legend:

DBH = Diameter at Breast Height, measured in centimetres,
Hgt = Height, measured in metres

Wth = Width, measured in metres

TPZ = Tree Protection Zone, calculated as 12 x DBH

SRZ = Structural Root Zone

L.S. = Life stage: Young, Mat = Mature, Sen = Senescing

Sig. = Significance, assessed as high, moderate or low

ULE = Useful Life Expectancy, estimated in years

Struct. = Structure scored out of 5 (1=poor to 5=excellent)

Roots = root environment health, scored out of 5

Cpy = Canopy health, scored out of 5, NA= Not available -
winter

R/Ret = tree proposed to be R=Removed/Ret=Retained

NGL = Natural Ground Level

SR = Structural Roots

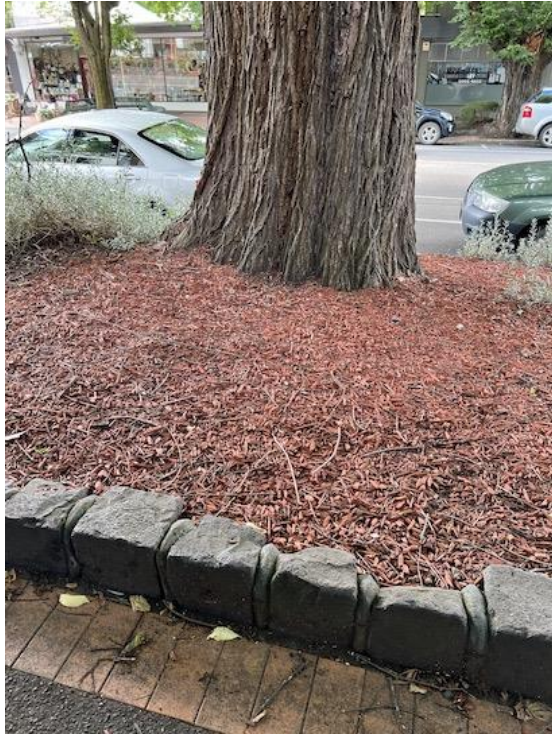
NS = Naturestrip / Road Reserve

ND = Next Door Property, N, E, W or S

DS = Defendable Space

CS = Canopy Separation

Pictorial Assessment



Tree 1 root zone



Tree 1 canopy



Tree 1 canopy overhanging building



Tree 1 canopy streetscape.



Tree 2 root zone



Tree 2 canopy



Tree 2 trunk roots cracking curbing & bitumen



Tree 2 suckers ~10m away



Tree 3 on fenceline



Tree 3 canopy



Laneway alongside west of subject building, Tree #2. Next door rear area, Tree #1



This proposed development will have minimal impact on trees assessed- all trees are proposed for retention with no greater than existing encroachment into their Tree Protection and Structural Root zones.

Trees proposed for retention with existing encroachment >10%

Tree #1 is an English Elm, (*Ulmus procera*) which is a street tree planted along the Maroondah Hwy. As part of an avenue, this tree contributes enormous aesthetic value to the streetscape of the Healesville township. It currently has encroachment into its SRZ and TPZ well beyond normal accepted tolerances under the Australian Standard (as most street trees do) however its health and vigour is still good and despite some structural issues (which could be improved by maintenance and pruning) this tree can be retained with no additional encroachment from the development proposal.

Tree #2 is another English Elm, younger than its Maroondah Hwy counterpart, located in the rear common land behind the buildings. This tree also has existing incursion into its TPZ and SRZ well beyond normal accepted tolerances under the Australian Standard. It is felt that the amenity value of this tree for shade provision and aesthetics can be maintained, and proposed works have been designed to avoid any additional TPZ encroachment. This tree needs some professional pruning to removal recently broken limbs and reshape the canopy.

Tree # 3, is Silky Oak (*Grevillea robusta*) located in the beer garden of the neighbouring Grand Hotel. This most likely self-seeded tree has existing encroachment into its SRZ and TPZ from many of the hard landscaping elements of its surroundings. There is no incursion expected from the proposed development.

Root barriers

Ideally the works within the root zones of Trees #1 & 2 would take place in Autumn after leaf fall. The time window of May-Oct is preferable for root pruning (as needed) prior to the installation of a root barrier. This is highly recommended for English Elms as their roots can be extremely invasive particularly once disturbed, having the tendency to produce suckers. Elm root systems are generally widespread, shallow and fiborous. It is recommended that the carparking surface remain permeable, with no encroachment greater than existing for Tree #2. A maintainable root barrier (with both chemical and physical properties) should be installed between the TPZ periphery and the underground water tanks by an operational arborist.

Tree Protection Zones

Generally, Tree Root Protection Zones (TPZ) should be fenced off and a thick layer of protective mulch applied to 100mm depth and to be placed to the dripline of trees. This will not be possible in this location. Any excavations should aim at retaining/restoring natural ground levels where appropriate and possible. Access for demolition and building should be easy due to the existing rear accessway, but it is prudent that materials are not stored within TPZ areas, as this will increase the encroachment area beyond acceptable tolerances.

It is imperative to watch and maintain the health of all remaining trees, during and post works. The integrity of the trees may be altered through this process and while some may thrive with continued maintenance, others may decline, regular monitoring is essential.

References

5.0

DELWP (Department of Environment, Land, Water and Planning) (2020) *Naturekit*. <http://maps.biodiversity.vic.gov.au/viewer/?viewer=NatureKit>

DELWP (2020) *VicPlan* <https://mapshare.vic.gov.au/vicplan/>

Soft loud house architects (2021) *DBF Shop – 272 Maroondah Highway*, soft loud house architects *Healesville*. Ocean Grove, Victoria.

Standards Australia. (2009) AS 4970-2009 *Protection of Trees on Development Sites*.

Treetec (2014) *TPZ/SRZ Calculator*. www.treetec.net.au

Yarra Ranges Council (2020): <https://inramapspublic.yarraranges.vic.gov.au/intramaps90public/>

Waste Management Plan & Operations Guide

Mixed Use Development

272 Maroondah Hwy Healesville

Prepared for: Maeren Blue Investments Pty Ltd

Prepared by: MC – Low Impact Development Consulting

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Version	Date	Description	Prepared by	Checked by
1.0	08/07/2022	First Issue	MC	CH
1.1	02/09/2022	Revised Issue	MC	MC

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Commercial waste calculations are based on rates provided by government organisations and adopted and used as an industry standard. Bin numbers and spatial requirements have been calculated in accordance with these guidelines. The end user requirements may vary from this depending on the business use, type and operational practice.

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 LID acknowledges and pays respect to the Australian Aboriginal and Torres Strait Islander people, to their ancestors and elders, past, present and emerging, as the traditional custodians of the lands upon which we work and live. We recognise Aboriginal and Torres Strait Islander people's deep cultural and spiritual relationships to the water, land and sea, and their rich contribution to society.

1 Waste Summary

1.1 Proposed Development

Address:	272 Maroondah Hwy Healesville
Type:	Mixed use development
Dwellings:	3 Apartments
Break up of units:	3 x 2 bedroom
Commercial Shop:	95.2m ²
Commercial Bar:	53.2m ²

The proposed 3-storey development comprises of 3 residential units, a commercial bar and shop space open 6 days a week. The shop usage is yet to be determined.

The main vehicular access points are from Maroondah Hwy and a rear laneway that connects with Symons Street and Green Street. A shared bin store has been located within the south side of the building with access to the carpark.

Space for the collection, separation and storage of waste and recyclables has been provided, including opportunities for on-site management of glass and food waste as appropriate.

1.2 Waste Collection Summary

1.2.1 Residential

A council collection service is proposed to collect the following shared residential bins at the indicated frequency. Residents will be responsible for transferring bins to the nature strip for collection.

Residential waste	Council Collection Service – collection from Symons St	
Waste streams	No. of bins and capacity	Collection frequency
Co-mingled Recycling	3 x 240L	Once fortnightly
FOGO (Food Organics Garden Organics)	Not currently required (future provision) 3 x 120L bins*	-
Glass	Not currently required (future provision) 3 x 120L bins*	-
Landfill	3 x 120L	Once weekly
Green Garden waste	-	-
Hardwaste	Stored within each tenement	1 x 3m ² annual Council kerbside collection
E-waste	To be excluded from landfill waste. To be deposited by residents at approved e-waste disposal sites.	As often as required.

Other waste streams	Optional but recommended that a space be allowed for or a stack of tubs to allow separate storage of these other waste streams.	When tub is full – Owner's Corporation is to arrange items to be collected or set to recycling facility.
<ul style="list-style-type: none"> Batteries Light globes Soft plastics Printer cartridges 		

1.2.2 Commercial

As the front shop usage is currently unknown, two commercial waste streaming proposals have been provided.

Proposal 1

Example of a commercial bar and a non-food store in the shop space

A Council commercial collection service is proposed to collect the following bins at the indicated frequency. The bins will be collected from the kerbside.

Commercial Waste	Council Collection Service – collection from Maroondah Hwy	
Waste streams	No. of bins and capacity	Collection frequency
Co-mingled Recycling	4 x 240L	Fortnightly
Cardboard and paper	-	-
Glass	*Not currently available (future provision)	-
Organic Food Waste	*Not currently available (future provision)	-
Landfill	2 x 120L	Twice Weekly
Green Garden waste	N/A	N/A
Hardwaste	To be stored within the commercial space	Private waste collection as often as required
E-waste		As above in hard waste
Other waste streams	Optional but recommended that a space be allowed for a stack of tubs to allow separate storage of these other waste streams.	When bin/tub is full –building management is to arrange items to be collected or set to recycling facility.
<ul style="list-style-type: none"> Batteries Light globes Soft plastics Printer cartridges 		

Proposal 2

Example of a commercial bar and a café in the shop space

A private collection service is proposed to collect the following bins at the indicated frequency. Private waste collectors will be responsible for collecting bins from within the bin store area and transferring to the temporary collection point.

Commercial Waste	Private Collection Service – collection from laneway	
Waste streams	No. of bins and capacity	Collection frequency
Co-mingled Recycling	1 x 660L	Twice weekly
Glass	*Future provision	-
FOGO	1 x 240L	Three times a week
Landfill	1 x 660L	Twice weekly
Hardwaste	To be stored within the commercial space	Private waste collection as often as required
E-waste		As above in hard waste
Other waste streams	Optional but recommended that a space be allowed for a stack of tubs to allow separate storage of these other waste streams.	When tub is full –building management is to arrange items to be collected or set to recycling facility.
<ul style="list-style-type: none">BatteriesLight globesSoft plasticsPrinter cartridges		

* While currently not required a 4 bin system will be in place in the future as discussed in [Section 2.1](#). Each tenement has space available to store 4 bins.

The approved Waste Management Plan (WMP) will be the model to be adopted for this development. Detailed design and as-built installation must incorporate the design proposed and approved under this WMP. Any revisions of the WMP or changes to the approved waste system of the development may require Council approval and may require a re-submitted Waste Management Plan. More detail is contained within this report.

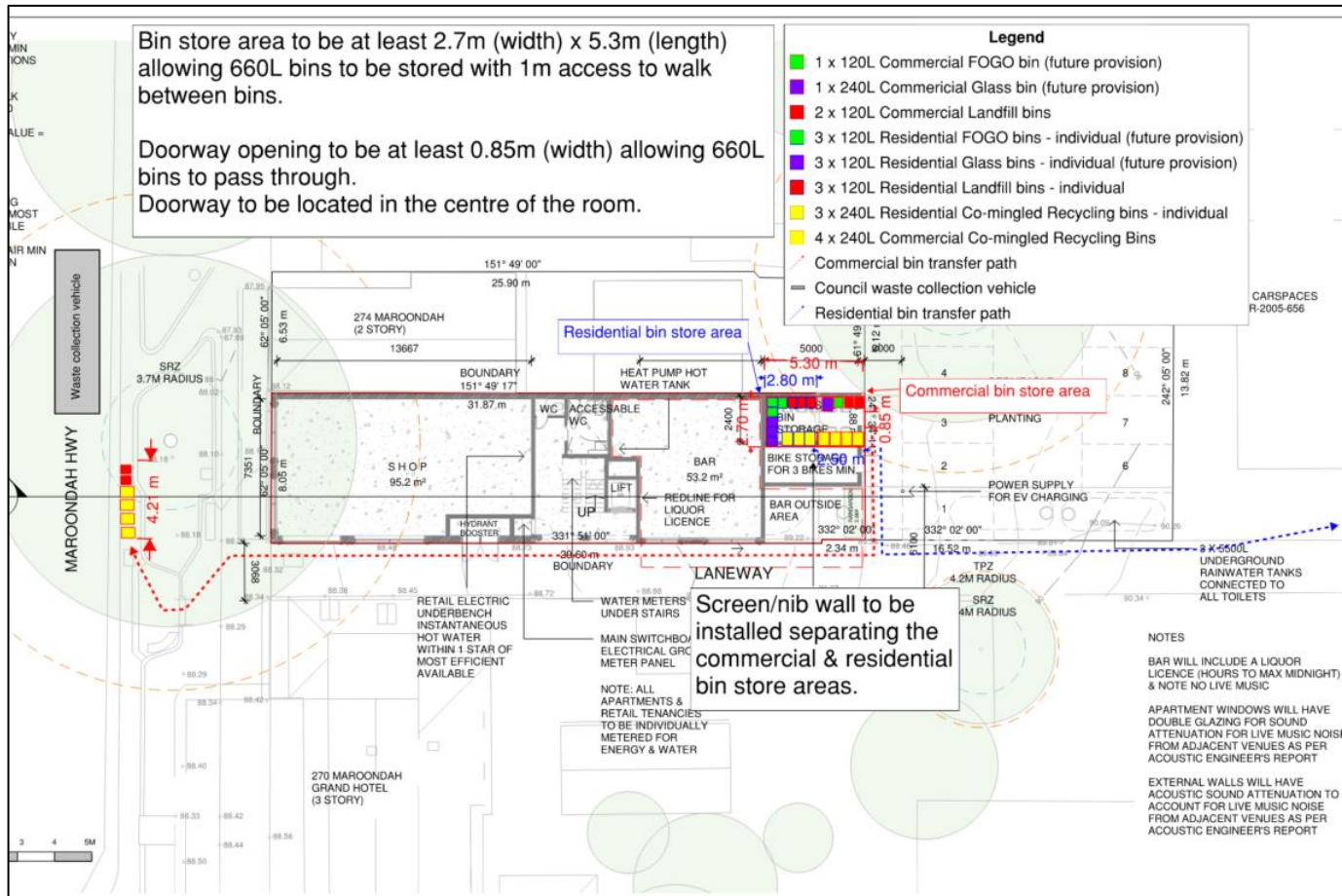
1.3 Bin Store(s) & Collection Plan

Proposal 1 and 2 of the Bin Store area and collection plan showing two waste streaming arrangements that accommodate if the shop usage is a non-food store or a café. Both provide adequate space for occupant accessibility and collection.

Proposal 1 – Residential, Commercial bar and non-food shop collection.

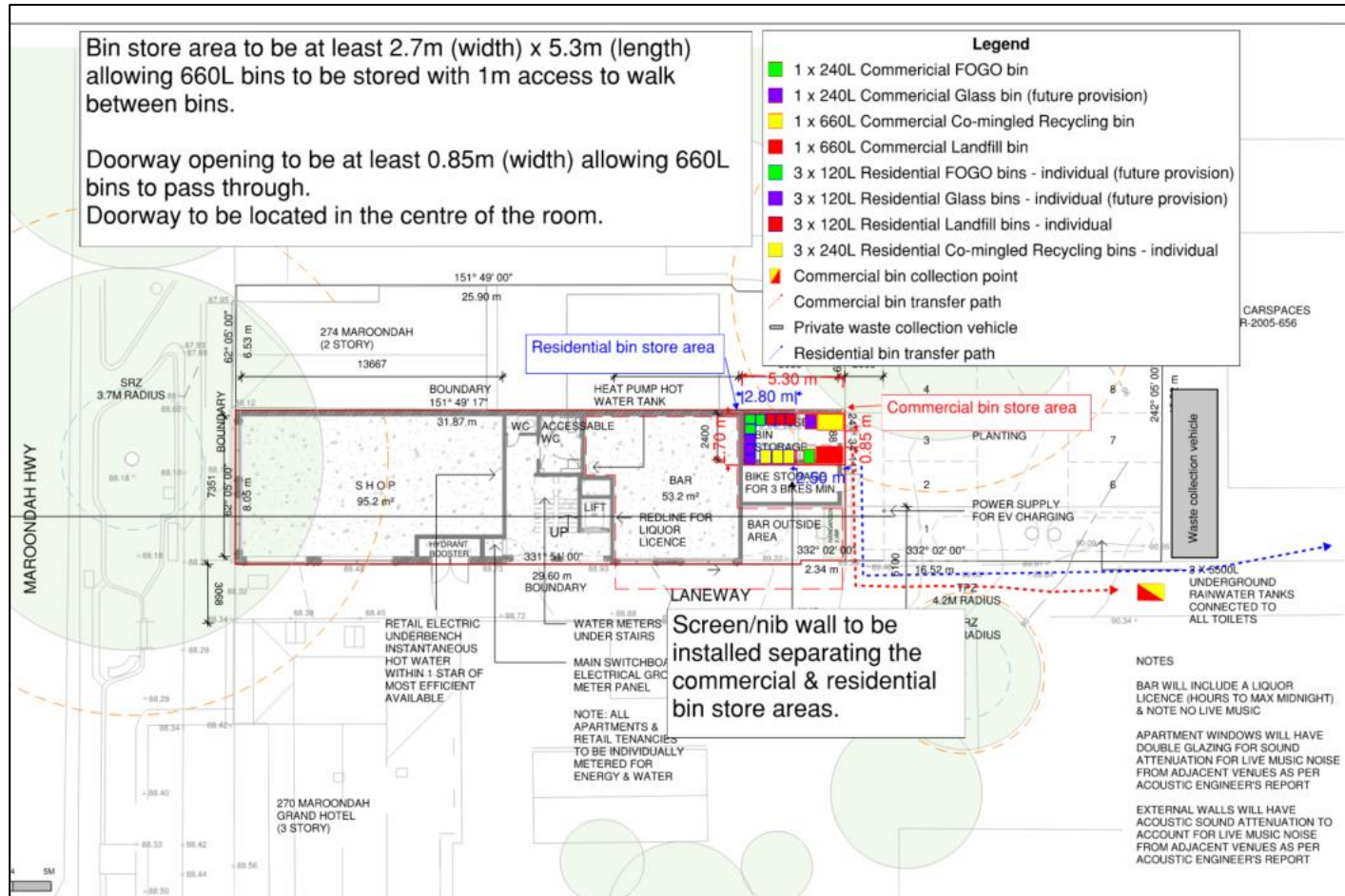
Council domestic kerbside collection on Symons Street. Council commercial kerbside collection on Maroondah Hwy.

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Proposal 2 – Residential, Commercial bar and café collection.

Council domestic kerbside collection on Symons Street. Private commercial collection from the laneway. Private waste operators will be responsible for collecting, emptying and returning bins to the bin store area.



2 Waste Management Plan

Low Impact Development (LID) Consulting was engaged by Maeren Blue Investments Pty Ltd to assess the proposed development at 272 Maroondah Hwy Healesville to provide a Waste Management Plan (as required by Statutory Planning).

A waste management analysis has been undertaken based on the following documents:

- Sustainability Victoria Better Practice Guide for Waste Management and Recycling in Multi-Unit Developments 2018;
- Yarra Ranges Shire Council's planning scheme clauses 15.02-1S and 55.07-11 & 58.06-3 addressing Standard B33; and
- Yarra Ranges Shire Council Waste and Recycling Guide: a guide to correct use of waste collection services in Yarra Ranges

This report is based on the drawing sets:

- Planning Appln 2/2/2022, dated February 2022 prepared by soft loud house architects

2.1 Future 4-bin System

Victoria will implement a 4-bin colour coded waste and recycling system in all residential settings by 2027. As the 79 different councils work towards this, some will roll out this scheme sooner than others. Generally, all new developments will look to incorporate space for these waste streams now in the planning phase. **Non-residential developments are also to implement these waste streams to ensure as much waste to landfill is diverted into recycling streams.**

Municipalities will have different percentages of glass and food volumes within each general waste and recycling streams. Bin numbers may need to be adjusted during the first 6-12 months of occupation to ensure appropriate streaming can occur.

In the meantime, if separate glass collections are not possible, these bins may be temporarily swapped for co-mingled recycling bins. More information can be found at

<https://www.vic.gov.au/four-bin-waste-and-recycling-system>



2.2 Council Considerations

The following issues / constraints were key considerations in preparing this waste collection strategy:

- Utilizing the Council domestic collection is the preferred option for future residents as the cost is included in the council rates.
- Council commercial collection service can provide multiple general waste bins sized 120L and recycling bins sized 240L. Utilizing the Council commercial collection service is

not possible for a café/restaurant in this instance due to the large volume of bins that would be required.

- c) Council commercial collection service does not provide a hard waste service
- d) Council uses an automated mechanical side arm service ie requires 300mm between bins.

2.3 Standard Residential Collection Options

City of Yarra Ranges standard residential Bin Collection Options:

- 240L co-mingled recycling bins collected fortnightly;
- 120L landfill bins collected weekly;
- 120L or 240L green waste bins fortnightly;
- 3m² hardwaste collected once yearly (on nature strip) including e-Waste
- Bi-annual bundled branch collection

Council will collect these allowances from all rateable properties, but will not collect above these volumes if the site generates higher levels of waste or non-approved waste types.

2.4 Proposed Residential Waste Solution

- Site Layout:** Refer Bin Store & Collection Plan – [Section 1.3](#).
- Waste Streaming:** Within each unit – include 5-7L food waste caddy as well as recycling, glass & landfill bins – Refer [Section 3.8](#) below.
- Collection Type:** Council kerbside collection service to collect all waste streams.
- Collection Location:** From the kerbside in Symons St.
- Bin Store Location:** Communal bin store area. Refer Bin Store & Collection Plan - [Section 1.3](#).
- Base Landfill generation rate:** 120L per unit per week (future divert 30% to dedicated food organics collections)
- Base Recycling generation rate:** 120L per unit per week (future divert 20% to dedicated glass collections)

Residential	Yarra Ranges Council Waste generation rates			Proposed Apartment Solution		
	No. units	Allowances	Total estimated waste volume	No. of Bins	Bin Size	Collection Frequency
Co-mingled Recycling	3	240L per dwelling per fortnight	720L of recycling per fortnight	3	240L	Fortnightly
FOGO / Garden waste		*Future provision	Approx. 108L of food & garden organics per week	3	120L	Yet to be determined

Future Glass¹		*Future provision	Approx. 144L of glass per fortnight	3	120L	Yet to be determined
Landfill Waste		120L per dwelling per week	360L to landfill per week	3	120L	Once weekly
Hard Waste		Stored individually in each apartment See Section 2.9 & Appendix 4 for Bulky Hardwaste Collections & Recycling.				1 x 3m ³ annual kerbside collection
E-waste		See Section 2.10 & Appendix 4 for E-Waste Collections & Recycling.				As often as required
Other items		A stack or tubs for: <ul style="list-style-type: none"> Batteries light bulbs soft plastics printer cartridges other recyclable item See Section 3.8 & Appendix 4 for more information.		4	tubs	As often as required to maintain bins

2.5 Proposed Commercial Waste Solution

Tenancy/space

Shop 1	95.2 m ²
Bar	53.2 m ²

Area

Site Layout: Refer Bin Store & Collection Plan - **Section 1.3**.

Bin Store Location: Refer Bin Store & Collection Plan - **Section 1.3**.

Base Rates: Refer SV Waste Management and Recycling in Multi-unit Developments: Better Practice Guide

Proposal 1 - Commercial bar and non-food store example

Collection Type: Council Commercial collection service to collect all waste streams.

Collection Location: From the kerbside on the Maroondah Hwy

Commercial	Council commercial collection service		Proposed solution		
	Allowances	Total estimated waste volume	No. of Bins	Bin Size	Collection Frequency

¹ The Age (2019), <https://www.theage.com.au/national/victoria/victorians-to-get-cash-for-bottles-scheme-20200224-p543ms.htm>

Co-mingled Recycling	Refer Appendix 2 - Waste rates & Calculation	900L of recycling per fortnight	4	240L	Fortnightly
Organic Food Waste		*Future provision			
Glass		*Future provision			
Landfill		450L of landfill per week	2	120L	Twice weekly
Green Garden Waste					Private contractor to maintain communal garden areas
Hard Waste	Bulky waste stored in each commercial space See Section 2.9 & Appendix 4 for Bulky Hardwaste Collections & Recycling.				Private waste collection service as often as required.
E-waste	See Section 2.10 & Appendix 4 for E-Waste Collections & Recycling.				As per Hard Waste
Other items	1 tub per waste stream or a stack of tubs for: <ul style="list-style-type: none"> Batteries light bulbs soft plastics printer cartridges other recyclable item See Section 3.8 & Appendix 4 for more information.	4	tubs		As often as required to maintain tubs

Proposal 2 - Commercial bar and a café example

Collection Type: Private collection service to collect all waste streams.

Collection Location: From the laneway at the rear of the property

Commercial	Private collection service		Proposed solution		
	Allowances	Total estimated waste volume	No. of Bins	Bin Size	Collection Frequency
Co-mingled Recycling	Refer Appendix 2 - Waste rates & Calculation	1308L of recycling per week	1	660L	Twice weekly
Organic Food Waste		621L of FOGO per week	1	240L	Three times weekly
Glass		*Future provision			
Landfill		1240L to landfill per week	1	660L	Twice weekly

Green Garden Waste				Private contractor to maintain communal garden areas
Hard Waste	Bulky waste stored in each commercial space See Section 2.9 & Appendix 4 for Bulky Hardwaste Collections & Recycling.			Private waste collection service as often as required.
E-waste	See Section 2.10 & Appendix 4 for E-Waste Collections & Recycling.			As per Hard Waste
Other items	1 stack of tubs for: <ul style="list-style-type: none"> • Batteries • light bulbs • soft plastics • printer cartridges • other recyclable item See Section 3.8 & Appendix 4 for more information.	4	tubs	As often as required to maintain space

NOTE: Streaming of waste into dedicated bins is encouraged where possible. The type of recycling bins nominated above may be swapped to suit the type of recyclable commercial waste generated (while not altering the number of bins overall). Possible additional separate waste streams include:

- o hard plastics
- o soft plastics
- o cardboard / paper (especially for retail and office tenancies)

2.6 Food Waste Collections

The Better Practice Guidelines² stipulates diverting food from landfill waste. This can be achieved in a number of ways – refer **Section 2.6** & **Appendix 4** below.

Commercial collection of dedicated food waste is provided by a number of private waste collection contractors for larger multi-unit, mixed-use and commercial developments. **An organics food collection service is recommended for this type of development if the tenant is a café/restaurant.**

- a) Food waste collections should occur a minimum 2-3 times per week (depending on the temperature of the bins) to avoid a build-up of odour and unwanted mess.
- b) Consideration should also be given to end of trip / processing of this waste by the engaged waste contractor to ensure this waste stream is appropriately treated and does not end up in landfill.
- c) Some current contractors using smaller waste collection vehicles that also collect organics include:

² Better Practice Guide for Waste Management and Recycling in Multi-unit Developments (Sustainability Victoria, 2019)

- Easywaste – using 120 & 240L bins <http://www.easywaste.com.au>
 - Waste Ninja – 120 & 240L bins <https://www.wasteninja.com.au>
 - Waste Wise Environmental www.wastewise.com.au
 - Speedie Waste <http://www.speediewaste.com.au/index.php>
- d) Other current contractors that also collect organics include:
- Sita – 1.5m³, 3m³ & 4.5m³ bin options (via Cleanaway) <http://www.sita.com.au/commercial-solutions/resource-recovery-recycling/organic-material/>
 - KS Environmental – 120L bins (inner metro only) <https://ksenvironmental.com.au/services/recycling-services/food-organics/>
 - Veolia – using 1.5m³ bins only (front lift) <https://www.veolia.com/anz/our-services/our-services/recycling-waste-services/recycling-organics>

2.7 Glass Collections

Space for additional glass bins is to be provided in all residential and commercial developments in line with Victoria's future 4-bin system. Each council will review the frequency of residential collections, most likely monthly.

2.8 Green Garden Waste

Green garden waste does not apply to this development as there is no garden area.

- a) For common areas a private maintenance contractor will be responsible for removing any green garden waste and can also by arrangement

2.9 Bulky Hard Waste Collection

In the first instance, unwanted bulky items, clothes and other consumables should be donated to charities, sold on online or at second-hand market places if in good condition. If repairs are required, seek out repair community centres for re-purposing – Refer **Appendix 4** for more details.

- a) Yarra Ranges Shire Council provides one residential kerbside hard rubbish collections per household a year of 3 cubic meters.
- b) Domestic hard rubbish items will be required to be stored within each apartment prior to transferring to the nature strip
- c) Hardwaste items can also be taken directly to privately operated transfer stations.
- d) Local information regarding the disposal and recycling of common household items for each Council can be found at:
 - <https://www.sustainability.vic.gov.au/You-and-your-home/Waste-and-recycling/Council-waste-and-recycling-services>
 - www.recyclingnearyou.com.au
- e) Yarra Ranges Shire Council does not provide a commercial hard rubbish service. A private waste contractor can be engaged to collect all bulky hard waste and eWaste items as required.

2.10 E-Waste Recycling

- a) As of 1st July, there is a ban on e-waste sent to landfill in Victoria. Any item with a plug, battery or cord can no longer be placed in kerbside bins and instead must be deposited at a designated e-waste drop-off point. Electronic waste includes old mobile phones, computers, audio devices, refrigerators and other white goods, hair dryers, TVs, heaters, and air-conditioners.
- b) Yarra Ranges Council provides e-Waste collections as part of the annual residential kerbside hard rubbish collections. These items are to be placed separately to aid collection.
- c) Between collections, authorised electrical waste disposal locations can be found:
 - o Privately operated transfer stations
 - o Officeworks collects e-waste



- o <https://recyclingnearyou.com.au/electrical>
- o <https://www.sustainability.vic.gov.au/Campaigns/eWaste/Where-do-I-take-ewaste>
- o <https://www.mobilemuster.com.au>

3 Waste Management Details

3.1 Waste Streaming & Contamination

Managing waste contamination requires the correct separation of products that are recycled differently. This is called waste streaming. Correct streaming requires consideration by stakeholders that generate, dispose of or manage waste.

Good waste streaming reduces contamination to ensure more effective recycling. Refer **Appendix 4** for Better Practice Waste Management links.

3.2 Management Responsibilities

The Owner's Corporation is responsible for all aspects of waste management including implementing adequate safe operating procedures. Items to be addressed by the Owner's Corporation include:

- a) Requesting a copy of the endorsed Waste Management Plan from Council if they do not have it or the developer has failed to provide the WMP to them.

- b) Ensuring minimal contamination occurs between waste streams to maximise recycling. This is to be achieved by:
 - o Providing separate bins for each waste stream (including recycling, glass, food organics & landfill) in all units and work areas for staff and residents to appropriately stream waste. See **Section 3.8**
 - o Routine inspection of bins in shared bin stores to ensure their appropriate use.
 - o Undertaking a waste audit should it be suspected waste is not being placed in the correct bins.
 - o Providing feedback to occupants / staff if the system is not working properly.
 - o Providing information to occupants / staff with guides of how to use the various bin systems e.g. boxes to be flattened, containers for recycling washed, bins to not be over-full. See **Section 3.9** for further information about Signage, Education & Safety.
- c) Ensuring all occupants / staff are aware of their responsibility with regard to waste & bin management.
- d) The Owner's Corporation is responsible in providing access for the private waste contractor (where applicable) to enter the site and commercial bin store area on the day(s) of collection.
- e) Allocation of responsibility to the contractor to retrieve commercial bins directly from the bin store area and return emptied bins at the time of collection. Responsibility should include ensuring the contractor collects any waste that spills from the bins during emptying.
- f) Cleaners & staff are responsible for placing waste in the appropriate colour coded bins in provided in work areas and then transferring them to corresponding bin in the bulk bin store to ensure all waste types are collected and recycled where possible.
- g) That bins and bins store areas are monitored regularly with regular cleaning of the bins and bin store spaces and clean-up after collection if necessary.
- h) Managing communal composting areas (if applicable).

3.3 Individual Occupants Responsibilities

The tenants / occupants / staff are responsible for their own waste. Items to be addressed in maintaining the system include:

- a) Apartment residents are responsible for placing bins in the designated collection location before the allocated collection day/time. Bins are to be returned on the same day collections occur.
- b) Individual occupants are responsible for placing their waste in the appropriate colour coded bins. This is to ensure all waste types are collected and recycled where possible and contamination of waste streams is minimised.
- c) That bins and bins store areas are monitored regularly with regular cleaning of the bins and bin store spaces and clean-up after collection if necessary.
- d) Management and coordination with council for bulky hard waste, eWaste and other waste collections.
- e) **Ensuring landfill placed in plastic bags** before placement into bins
- f) **Ensuring recycling materials are not bagged** and are to be placed loosely into the recycling bins. (Items in plastic bags in recycling bins are not recycled). Recyclable items in bin collections include:

- Rigid plastic containers
- Paper, cardboard
- Glass bottles and jars
- Steel cans, aluminium cans and aluminium foil are among items that can be recycled.

But exclude:

- Soft plastic bags

g) To improve recycling:

- Empty containers and bottles of any leftover food or liquid. Ideally rinse them out.
- Don't put anything inside plastic bottles or containers
- Paper – if it can't be ripped, it can't be recycled due to the plastic coating.
- Check local waste collection / contractor requirements – some recycle all plastic resin codes, some are more restricted. Some want lids on bottles, some want them separate and in landfill.

3.4 What Goes in Each Bin

This information can be found at:

<https://www.yarraranges.vic.gov.au/Environment/Waste/What-you-can-put-in-your-bins>

3.5 Occupational Health & Safety

A preliminary OHS risk assessment has been included to identify potential OHS issues, however this risk assessment does not replace the need for the Management and collection contractors to complete their own OHS assessment for the bin collection process. See **Appendix 1** for further detail.

3.6 Bin Store Area Design

The Bin store area design/location must include the following:

- a) Floor and wall surfaces are to be appropriately durable and easily cleaned.
- b) Doors located in the allocated storage areas should be designed for easy access of larger bins sizes.
- c) Space suitable for bin wash down is to be available in the development. If this is the bin store then the floor is to be graded to a waste outlet with a litter trap. Alternately, a private contractor can be arranged to swap dirty bins for clean ones on a regular basis.
- d) If a bin wash is installed, a water tap and hose installed in or near the bin wash areas and correct drainage to sewer (never direct waste to storm water drains) should be designed in accordance with the relevant EPA Bunding Guidelines. Drains to the sewer to be located undercover to prevent rainwater infiltration.
- e) Bin stores or bins should be vermin proof - particularly where food waste is included. Ensure bin lids are closed and the bin store is an enclosed space and considered to be largely vermin proof.
- f) A waterproof power point in or near the bin store.
- g) Adequate mechanical or natural ventilation if not outdoors.

- h) Ensure adequate lighting is provided in accordance with National Construction Code (NCC) guidelines if to be accessed after hours.
- i) Meter boxes should not be included in bin store areas.
- j) Screen or nib wall to be installed between the commercial and residential waste bins to separate the bin storage area
- k) Bin store area to measure internally at least 2.7m (width) and 5.3m (length) based on current design to accommodate waste streaming bins.

3.7 Bin Store Area Access

A layout that allows access to all the bins with adequate size to allow easy movement/transfer of the required number of bins.

- a) Manoeuvrability within the bin store area with 1m to walk between bins.
- b) There is to be no significant step at any threshold between the bin store area and the point of collection.

3.8 Bin Types & Bin Sizes

3.8.1 Mobile Wheelie Bins (MGBs)

The following sizes are indicative bin sizes based on the Sustainability Victoria Better Practice Guide specified sizes (Appendix 9). These sizes are the size allowances required by most Councils in bin store areas. Allow 100mm between 4 wheel bins and 50mm between 2 wheel bins for movement.



Size	Width	Depth	Height	Footprint
80L	450mm	530mm	870mm	0.24m ²
120L	485mm	560mm	940mm	0.27m ²
240L	580mm	735mm	1080mm	0.43m ²
360L	600mm	885mm	1100mm	0.53m ²
660L	1370mm	850mm	1250mm	1.16m ²



Standard bin colours (refer AS4123.7)	
Landfill	Red
Co-mingled recycling	Yellow
Green organics	Light Green
Glass	Purple

* NOTE: size may vary between Councils and contract suppliers

Alternative bin sizes - Different bin suppliers provide different size bins, although these should only be used exceptional cases and may cause issues with Councils.

	Best Practice Guide – Vic – mm D x W x H	Sulo bins	Waste Wise bins	Sita bins
80L bins	530D x 450W x 870H	505D x 455W x 835H	-	-

120L bins	580D x 485W x 940H	545D x 480W x 930H	561D x 481W x 920H	-
240L bins	735D x 580W x 1080H	730D x 585W x 1060H	740D x 582W x 1072H	-
360L bins	885D x 600W x 1100H	900D x 600W x	-	-
660L bins	850D x 1370W x 1250H	850D x 1400W x approx 1300H	775D x 1216W x 1227H	765D x 1360W x 1235H
1100L bins	1245D x 1370W x 1470H	1070D x 1240W 1330H	1088D x 1196W x 1310H	1070D x 1360W x 1485H

3.8.2 Internal Bins – Residential

In multi-unit developments streamlined waste bins are to be included in each dwelling (perhaps under the kitchen sink). Bin types are to include Co-mingled Recycling, Organic Food Waste, Glass and Landfill (general) waste.

Where food and garden organic waste can be composted onsite, Bokashi Bins or Urban Composters used in the kitchen can speed up this process. Residents should check with their local council as to any discounts available for garden composting units and worm farms. See **Appendix 4** for more details.



Kitchen Caddy – supplied by council where food scraps can be placed in FOGO bins.



Pull-out kitchen bins to be supplied in each unit for better waste separation. This encourages better recycling practices.



Apartment Bokashi / Urban Composter bins where food scraps can be placed in on site compost.



Examples of a stack of tubs for small recyclable waste streams such as batteries, light globes and printer cartridges.

3.8.3 Internal Bins – Commercial

Correct streaming in commercial developments requires consideration by staff, cleaners and visitors. It needs to be clear for all users as to where and how they dispose of their waste.

- a) Correct streaming in these areas in the first instance reduces contamination to ensure more effective recycling occurs.
- b) Separation of landfill and recyclables is to initially occur in all work areas, communal spaces and kitchenettes and then in bin stores. For this reason, the development will include streamed waste bins in each kitchen and work area. Cleaners and/or staff would then transfer already streamed waste to the corresponding bin in the main storage area.
- c) Commercial waste is to be transferred to the shared bulk bin store with minimal manual handling.



Examples of streamed commercial waste bins. Larger sizes may be required to suit development

All bins are to be placed alongside each other to ensure recycling is easy.

- d) Outdoor areas where people congregate, where possible should be smoke free zones. Locations where smokers congregate should include an ash box installed on the litter bins or a wall. This will help reduce cigarette butts being left on the ground and entering the stormwater system and creeks.



Example of cigarette ash bin

3.9 Signage, Education & Safety

It will be the responsibility of the Owner's Corporation to ensure all apartment residents and shop/bar staff have all the material available to them and that they adhere to the required practices regarding waste management, sustainability and promoting waste minimisation.

- a) All education material will be in accordance with Council requirement or if this is not available, per signage on the following website:

<https://www.sustainability.vic.gov.au/recycling-and-reducing-waste/waste-systems-in-residential-commercial-and-industrial-buildings/waste-signage>

- b) Directional signage should be installed to direct bin collectors to the bin storage areas.
- c) Instructional signage within shared communal bin stores is to indicate which bin is for landfill and which is for recyclables or other waste streams.



Simple, brightly coloured signs to quickly communicate what items are acceptable for each bin.

- e) A sign will be placed on the landfill bin that soft plastics can be recycled at any location identified on the Redcycle website <http://www.redcycle.net.au/where-to-recycle/>



A quick guide to some most commonly recycled Soft Plastic items

3.10 Waste Vehicle Requirements

- a) Maroondah Hwy and Symons Street are typical roads, and no vehicle size limitation should apply. Council will confirm if MRV or HRV vehicles are used for this site.
- b) If a private waste contractor is required, A 8.8m MRV waste vehicle or 6.4m rear mini loader is to enter the laneway from Symons Street and travel towards the site. The vehicle will manoeuvre to exit the laneway and continue via Green Street (**See Appendix 3**).
- c) The private waste contractor will be responsible for retrieving, emptying and returning bins to/from the bin store at the time of collection.
- d) The Owner's Corporation is responsible for ensuring the waste contractor has access to the bin store area on the days of collection. If there is a security code or key required for access, the contractor should be provided with these so they may access the bin store on the specified collection days.

Vehicle	Typical size
Rear mini loader	6.4m long x 2.35m wide truck (basement collections) – 2.2m head clearance (Small Rigid Vehicles)
Rear Loading	8.8m – 10m long x 2.6m wide truck – 4.0m head clearance (Medium Rigid Vehicles)
Side loading automated arm	Sizes vary from MRV to HRV
Front Fork Loading automated arm	10.4m – 12m long x 2.6m wide – 5.5m head clearance (Heavy Rigid Vehicles)
Rear Hook Loading (compactors)	9.7m long x 2.6m wide – 5.5m head clearance

NOTE: Larger vehicles may need to be assessed for clearances prior to entering the site.

3.11 Traffic Management

- Traffic management along Maroondah Hwy and Symons Street should not be an issue. Waste bins are routinely collected by Council from the kerbside/nature strip early in the morning.
- Traffic management along the laneway should not be an issue with the quick emptying times with waste from only 1 bin will be collected at any one time.

3.12 Collection Times

Collection times: Domestic waste – bin collection shall be in accordance with Council and EPA Noise Control Guidelines Publication 1254, which state:

- Collections occurring once a week are to be restricted to the hours 6 am — 6 pm Monday to Saturday
- Collections occurring more than once a week are to be restricted to the hours 7 am — 6 pm Monday to Saturday

Collection times: Commercial waste – bin collection shall be in accordance with Council and EPA Noise Control Guidelines Publication 1254, which state:

- Collections occurring once a week are to be restricted to the hours 6:30 am — 8 pm Monday to Saturday, or 9am – 8am Sundays and public holidays.
- Collections occurring more than once a week are to be restricted to the hours 7 am — 8 pm Monday to Saturday, and 9am – 8am Sunday and public holidays.

3.13 Noise management

Minimizing noise associated with waste movement and collections include:

- Collections occurring during the stipulated collection times restrict the hours of noise from collections.
- Collection vehicles should not break up bottles at the point of collection, only once off site. Compaction of waste should only be carried out whilst waste vehicles are on the move and off-site.

3.14 Response to Increasing Waste

- a) The total waste capacity exceeds the required allowance calculation by rounding up to the nearest bin size so there is built in capacity should waste levels increase beyond estimates.
- b) A waste audit can be undertaken to understand the content of the waste bins. Audits provide feedback to clients of good or poor recycling practices. Images can be helpful to convey feedback.
- c) If landfill bins consistently overflow, then apartment residents and bar/shop staff are to be directed to educational material as to the appropriate streaming of waste including food and other recyclables. (see **Section 4** and
- d) **Hard plastic** containers not collected in comingled recycling coded 1-7 (excluding polystyrene) can generally be recycled. This should be checked with each council or private collection contractor. ie toys, tubs etc
- e) Soft Plastic Recycling below).
- f) If recycling bins continue to overflow, residents and bar/shop staff should be reminded to crush and flatten all cardboard boxes before placing these in the recycling bin(s). It may also be appropriate to obtain an additional recycling bin.
- g) The bin store area has spare space to accommodate additional or larger bins if required.
- h) The last choice option is for more regular commercial collections to occur.

3.15 Reducing Odour

Odour from waste primarily emanates from bin store areas. Control of odour must occur in the bin store area with the provision of suitable natural or mechanical ventilation. If installed the mechanical ventilation system for the bin storage area must not cause a public health nuisance (noise and odour generation) and comply with EPA requirements and in accordance with the ventilation requirements of the Building Code of Australia and AS 1668.2.

- a) The bin store area and bins are to be monitored and cleaned on a regular basis to remove sources of smells.

3.16 Litter Spread

- a) Litter spread is to be managed by ensuring bins are not overloaded, and lids are always closed.
- b) The Owner's Corporation will be responsible for cleaning up any waste that spills from the Council collection service
- c) The private collection contractor's agreement should require their pickup of any waste that spills from the bins during collections.
- d) Litter spread is to be managed by the contractors collecting bins from within the property.

4 Minimising Waste to Landfill

A circular economy is a system where products and services are designed to be reused or ideally be regenerative i.e. to repair the environment. This differs from the predominantly linear model of “take, make and waste” that we have seen in the last few decades.

Food organics is an example of where waste can be regenerative. Food waste is now being actively used via composting to improve the quality of soils.

While occupants of buildings are generally limited in how they can impact on the design of products to make them re-useable, they can change their own and others behaviour to minimise waste.

Where possible building occupants should practice the waste reduction hierarchy identified in the Victorian Environmental Protection Act 2017.

Avoidance of landfill waste by building occupants might involve

- a) Purchase only what you will consume
- b) Purchase items of quality that can be re-used, sold on donated or up-cycled.
- c) Use re-usable drink bottles, lunch containers, shopping bags
- d) Avoid single use plastics
- e) Compost anything that once was alive

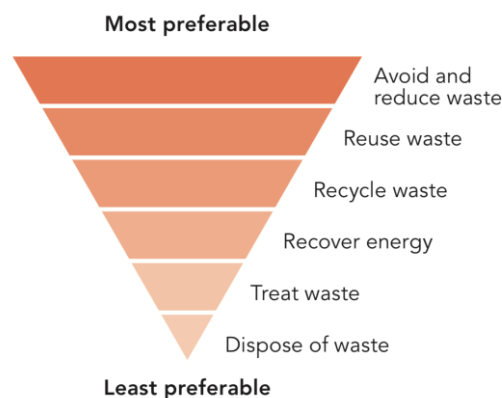
The 2025 National Packaging Targets are supported by Australian industry and government to deliver a new and sustainable approach to packaging. They apply to all packaging that is made, used and sold in Australia.

The 2025 Targets are:

- 100% reusable, recyclable or compostable packaging.
- 70% of plastic packaging being recycled or composted.
- 50% of average recycled content included in packaging (revised from 30% in 2020).
- The phase out of problematic and unnecessary single-use plastics packaging.

In March 2020, The Australian Packaging Covenant Organisation (APCO) also released a series of material-specific sub-targets relating to the uptake of recycled content in packaging

The Australian Packaging Covenant Organisation (APCO) is a not for profit organisation leading the development of a circular economy for packaging in Australia. ³



³ <https://apco.org.au/national-packaging-targets>

5 Supplementary information

5.1 Council Waste Directory

Yarra City Council Waste Directory:

- <https://www.yarraranges.vic.gov.au/Environment/Waste>

5.2 Waste Contractors

Waste collection companies in Victoria:

- Waste Wise Environmental www.wastewise.com.au (Melb, Geelong, Ballarat)
- CSC Waste <https://cscwaste.com.au/> (Melb only at 08/2021)
- Waste Ninja <https://www.wasteninja.com.au>
- Kartaway <http://www.kartaway.com.au/melbourne/index.html>
- iDump Waste Management www.idump.com.au
- Easy Waste - <http://www.easywaste.com.au>
- Citywide www.citywide.com.au
- JJ Richards & Sons www.jjrichards.com.au (Australia wide – depots per <https://www.jjrichards.com.au/contact/>)
- Suez (incl Sita) – www.suez.com.au/en-au ph 13 13 35
- KS Environmental - <https://ksenvironmental.com.au/> (Melbourne only)
- Transpacific-Cleanaway - <https://www.cleanaway.com.au>, ph 13 13 39
- Veolia - <https://www.veolia.com/en>

5.3 Other Useful Links

- Sustainability Victoria <https://www.sustainability.vic.gov.au>
- PlanetARK <https://recyclingnearyou.com.au>
- Redcycle <https://redcycle.net.au>
- Sustainable Procurement Guide (for Commonwealth entities)
<https://www.awe.gov.au/sites/default/files/documents/sustainable-procurement-guide.pdf>
- Wastech www.wastech.com.au

Appendix 1 - Preliminary Risk Review

Class 1 Risk = Potential to cause death or permanent injury.	Class 2 Risk = Potential to cause injury requiring medical attention.	Class 3 Risk = Potential to cause an injury treatable with first aid.
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Activity	Steps involved in completing activity & risk	Risk level	Risk mitigating measures	Implementation responsibility
Moving of bins from bin store to collection space	Risk of manual handling injuries	2	Use max bin sizes of 660L Ensure the distance of travel is no more than 90m. The bin transfer grade should not exceed 1:14 The travel path is to be kept free of all obstacles steps, kerbs, speed bumps, berms, sills or ramps. Ensure all access points have suitably wide doorways	Owner's Corporation
Movement of commercial waste from shops to the bin store	Carting waste from the shops to the bin store. Risk of manual handling injuries.	2-1	Commercial tenants should ensure their bin sizes are not excessive and cannot carry too much weight to safely negotiate to the bin store. Building owner to include clause in tenants contract to ensure bin sizes are not excessive due to this risk.	Owner's Corporation
Bin loading on laneway	Moving bins from temporary collection space to collection vehicle parked on the laneway. Collection may occur at the rear of the truck. Risk of being struck by passing vehicles if step outside the line of the width of the truck	1	Bin collection operator's own safety measures incl training	Bin collection operator

Activity	Steps involved in completing activity & risk	Risk level	Risk mitigating measures	Implementation responsibility
Vehicle enters lane to rear of site for waste collection	<p>Collection vehicle entering laneway and reversing/manoeuvring before exiting in a forward direction.</p> <p>Major risk is hitting unaware people, particularly when reversing.</p>	1	<ul style="list-style-type: none"> • There should no/few children/elderly people in the area. • Vehicle driver to enter the laneway while having good visual of the area. Upon commencing reversing, immediately check the area behind the vehicle and continue checking while reversing. <p>This should reduce the risk of drivers not being aware of what is behind their vehicles.</p> <ul style="list-style-type: none"> • Reversing buzzers to be applied to all trucks. 	Bin collection operator
<p>Note this assessment is for consideration during the design phase of the project. It is <u>not</u> to replace a risk assessment / Safe Work Method Statement being completed by the contractor and persons undertaking the waste removal process.</p>				

Appendix 2 - Waste rates & calculations

Proposal 1 – Commercial non-food store and bar waste calculation rates

Commercial Type	Area	Waste Generation Rates (L/unit per week)		Source	Days	Waste Generated (L/week)	
		Landfill	Recycling			Landfill	Recycling
Non-food store	95.3m ²	50	50	SV Better Practice Guide	6	288	288
Bar	53.2m ²	50	50	SV Better Practice Guide	6	162	162
TOTAL Litres per week						450	450
Bin size						2 x 120L	4 x 240L
Collection frequency						Twice weekly	Fortnightly

Proposal 2 – Commercial café and bar waste calculation rates

Commercial Type	Area	Waste Generation Rates (L/unit per week)		Source	Days	Waste Generated (L/week)		
		Landfill	Recycling			Landfill (66%)	Recycling	FOGO (33%)
Cafe	95.3m ²	300	200	SV Better Practice Guide	6	1133	1146	567
Bar	53.2m ²	50	50	SV Better Practice Guide	6	107	162	54
TOTAL Litres per week						1240	1308	621
Bin size						1 x 660L	1 x 660L	1 x 240L
Collection frequency						Twice weekly	Twice weekly	Three times weekly

Appendix 3 - Swept paths



Appendix 4 - Better Practice Waste Recycling

Below is a range of practical information and resources to better manage &/or divert many waste types from landfill into recycling streams.

Food Organics & Garden Organics

A. Tips for FOGO

- Place all food waste direct into Council provided FOGO bins once the regular council FOGO bin collection service becomes available
- Keep the wheelie bin in a shady spot
- Use paper towel to line the bottom of plastic bags to soak up any moisture that can cause the liner to break down quicker than normal
- Double wrap meat, bones and unwanted pet food (with newspaper or paper towel) before placing in your caddy
- Line the organics bin with newspaper to aid cleaning
- Wrap fish and seafood waste (in newspaper or paper towel) and place in your freezer until your next collection is due
- Sprinkle vinegar, baking soda, charcoal or eucalyptus oil in your organics bin to combat odours
- A mix of garden and food waste helps keep bin odours under control
- Purchase a Bin Kill tag that can be attached to the inside of your organics bin. The tag emits a vapour that kills flies and maggots. The product is available from Bunnings, Coles or Woolworths supermarkets.

B. Community Partnerships & Government Initiatives

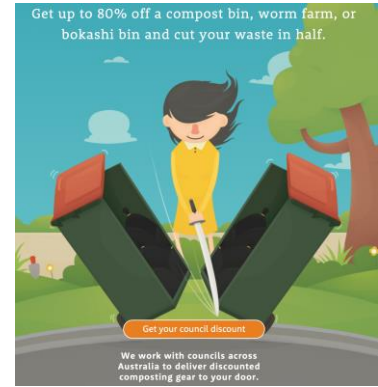
- a) **Love Food Hate Waste** aims to raise awareness of avoidable food waste from Victorian households. The average family in Victoria loses over \$2,000 a year from wasting food. And two thirds of it could have been eaten.
<https://www.sustainability.vic.gov.au/>
- b) Sustainability Victoria provides information for households, schools and businesses alike to reduce food waste through their **Love a List Challenge**.
- c) **Community gardens** in partnership with Council may accept food waste that can be composted and used to grow food.
- d) **Sharewaste network** www.Sharewaste.com to find local residents who are happy to accept compostable food in their compost heaps. The website allows the parties to connect to donate food scraps. Residents or tenants can register via the app.
- e) **Back to earth** - For more information about where your food goes when collected by contractors and how you can use it, see <https://backtoearth.vic.gov.au> an education initiative by Councils.



f) **Join the Compost Revolution**

<https://compostrevolution.com.au> provides up to a 80% discount on a number of composting bins and accessories. It also has a range of tutorials on how to compost.

Co-designed with councils, the Compost Revolution is a multi-award-winning program that educates and equips residents to cut their waste in half through home composting and worm farming. This platform is the only all-in-one education, infrastructure logistics and marketing program of its kind streamlining the process so that councils achieve waste and emissions reduction targets while saving money.



C. Commercial Food waste

There are a number of onsite treatment and diversion options to remove food waste from landfill.

b) **Surplus food donation**

There are organisations that collect surplus food for human consumption. Collectors that provide this service within Melbourne include:



SecondBite - SecondBite redistributes surplus fresh food to community food programs around Australia. Food is donated by farmers, wholesalers, markets, supermarkets, caterers and events. This high-quality surplus food is redistributed to community food programs that support people who are homeless, women and families in crisis, youth at risk, indigenous communities, asylum seekers and new arrivals. Contact: Emily Wild Community, Volunteer and Office Manager emily@secondbite.org



FareShare - FareShare, is a not-for-profit organisation, rescuing food to fight hunger. It collects quality food that would otherwise be wasted from Melbourne businesses such as food wholesalers, retailers and caterers. Volunteers in FareShare's kitchen use this food to prepare healthy, nutritious meals that they distribute to over 100 charities providing emergency food relief for the hungry and homeless. Phone: 03 9428 0044 Email: kath.cotter@fareshare.net.au



OzHarvest is the first perishable food rescue organisation in Australia collecting quality excess food from commercial outlets and delivering it, direct and free of charge, to 600 charities providing much needed assistance to vulnerable men, women and children. www.ozharvest.org, Ph: 03 9999 5070 melbourne.info@ozharvest.org



FoodBank - Foodbank is Australia's largest food relief organisation, operating on a scale that makes it crucial to the work of the front line charities who are feeding vulnerable Australians. Foodbank provides more than 70% of the food rescued for food relief organisations nation-wide. <https://www.foodbank.org.au> PH: 03 9362 8300 info@foodbankvictoria.org.au

Plastics, Glass & Aluminium

D. Victoria Container Deposit Scheme

Victoria will have a container deposit scheme that will ensure more plastics, aluminium and glass containers are recycled, with the expected benefit that waste generation rates will be reduced further beyond estimates here.

This scheme will be implemented by 2023 and will allow everyone to actively participate by taking his or her recyclables directly to an out let in exchange for a monetary refund.

More information can be found at <https://www.vic.gov.au/container-deposit-scheme>

E. The VIC Bag ban

As of 1st November 2019 there is a ban on lightweight plastic shopping bags. All retailers including restaurants are not permitted to provide or use these plastic bags.

- a) The ban applies to all lightweight plastic shopping bags that have a thickness of 35 microns or less at any part of the bag, including degradable, biodegradable and compostable bags.
- b) EPA Victoria is managing compliance monitoring and reports of suspected banned bags. Further information can be found at: <https://vicbagban.com.au> & <https://www.sustainability.vic.gov.au/PlasticBags>

F. Hard Plastics

Hard plastic containers not collected in comingled recycling coded 1-7 (excluding polystyrene) can generally be recycled. This should be checked with each council or private collection contractor. ie toys, tubs etc

G. Soft Plastic Recycling

Eliminating or reducing the use of single-use plastics can greatly reduce waste volumes both in residential and commercial settings. This includes straws, plastic bags and plastic wraps. Many private waste contractors can commercially collect soft Plastic.

- a) **Coles and Woolworths** both offer plastic bag and soft plastic recycling. Residents can place all plastics in one plastic bag and add it to the recycling bin at the supermarket for collection. Any location identified on the Redcycle website <http://www.redcycle.net.au/where-to-redcycle/> .
- b) **Reground** <https://www.reground.com.au/> collect soft plastics and coffee grounds. They provide bags or bins, into which soft plastics or coffee grounds are separately emptied. Reground replace bins and/ or bags on a consistent regular basis, depending on how fast they fill up. They then collect the resource and take them to community gardens and home gardeners or local plastics recyclers who put the waste to positive use.

- c) Other commercial waste contractors may also be able to collect streamed soft plastics depending on your location.

H. Polystyrene

Expanded Polystyrene (EPS) is a problematic material that takes hundreds of years to breakdown in landfill. Despite 98% of the plastic packaging being air, EPS takes up large amounts of space in landfills where it can easily be blown away and enter our natural environment.

For residents, polystyrene can be collected separately and taken to the nearest local recovery centre that recycles this waste. These centres can be found at:

<https://recyclingnearyou.com.au/polystyrene/MelbourneVIC>

For commercial businesses, private collections should be arranged to collect and recycle this product. The following links may assist further:

- o <http://epsa.org.au/about-us/collection-centres/victoria/>
- o <https://www.inspiredwastesolutions.com.au/polystyrene-recycling-melbourne/>
- o <https://www.foamex.com.au/news/polystyrene-recycling-what-you-can-do>

Hospitality & Packaging

I. Hospitality Waste Reduction

- a) Responsible Cafes is an organisation that provides educational material for the hospitality section. Their website contains various resources, waste education and lists responsible cafes participating in the scheme. See <https://responsiblecafes.org>
- b) Reducing takeaway food container waste - The website Trashless Takeaway www.trashlesstakeaway.com.au lists restaurants around Australia that allow you to bring your own container to pick up your takeaway food, enabling a reduction in use of recyclable or compostable (only in some commercial composters) food containers.
- c) Yume work with leading food suppliers to ship surplus stock, that may otherwise have been wasted, to smart hospitality and retail businesses. Stock may be considered surplus for a number of reasons: a supplier may have a cancelled or placed an incorrect order, there may be no space for new stock, or a product might be close to code. This can leave primary producers, wholesalers, distributors and manufacturers with tonnes of surplus food and a lack of time or the contacts to re-sell it. Yume provides the network to sell this surplus stock. See <https://yumefood.com.au/>

J. Packaging and food waste

One of the biggest problems causing failed recycling is the difficulty in avoiding contamination of potentially recyclable waste streams. Most waste streams are recyclable if they are separate and treated in their own way. However, when they are mixed together, they often deliver a contaminated co-mingled stream that cannot be recycled e.g. when a recyclable plastic bottle is included with compostable food waste, or a soft plastic bag goes into recycling bins. The entire contaminated load ends often ends up in landfill.

A solution can involve very careful selection of packaging. To simplify recycling, it is easier to minimise the number of waste streams people have to separate and provide clear advice on what items go into each bin.

Where food is consumed on site, to ensure food waste can be composted effectively, plates, bowls, cups, cutlery, straws, should not go into food waste bins, unless these items are domestically or commercially compostable.

Commercial composting is undertaken at higher temperatures than domestic composting. Items that are specified as commercially compostable will not compost in a domestic compost bin.

Check with each packaging supplier and also the waste contractor to ensure parties definitions of compostable align. Further, if lids are provided with compostable bases, check that they too are compostable.

Some very established compostable packaging suppliers still sell their food packaging with recyclable lids that will contaminate a compostable food waste load.

The image here is of sugarcane clamshell packaging sold with sugarcane and PET lid options. Sugarcane clamshells are plastic-free packaging that are made from reclaimed and rapidly renewable sugarcane pulp. They are certified home (domestic type) compostable but if purchased with PET lids the PET lids will contaminate the food composting load. Purchasing the sugarcane lids would remove the risk of contamination of the compostable food waste load.



As an alternative to lids, home compostable cling wrap can be used. An Australian company Great Wrap is now producing home compostable cling wrap for foods made from food waste rather than bioplastics developed from specifically grown plants. See <https://www.greatwrap.co/>

K. Recycling Take Away Coffee Cups

There are a number of companies that now provide take away coffee cups that can be recycled. These includes (but not limited to) <https://www.detpak.com/recycleme/> and <https://www.simplycups.com.au>.

These services will provide all of the resources required for customers to use & store cups and lids as well as collect waste on a regular basis.



Other Items and Textiles

L. Other Unwanted Items

Unwanted items, clothes and other consumables can be donated to charities, sold on online or at second-hand local market places if in good condition. If repairs are required, seek out repair community centres for re-purposing.

- c) **PlanetARK** for a comprehensive listing to each council. <https://recyclingnearyou.com.au/councils/>

- d) Suppliers such as **Ecycle** <http://www.ecyclesolutions.net.au> will deliver whitegoods and either collect clean polystyrene from retailers or take polystyrene away after delivery.
- e) **TerraCycle** is a national initiative where you can look up where to deposit non-recyclable waste such as contact lenses, coffee capsules, mailing satchels, toothbrushes & tubes. <http://www.terracyclemap.com>



Colgate Oral Care Recycling Program

Recycle your oral care through this program.



- f) **Toys for Joy** recycle any brand of pre-loved toys for free with partners Big W & TerraCycle. These are for toys that cannot otherwise be donated such as broken parts or just worn out. This avoids more toys in landfill. There are drop off points Australia wide at Big W stores. <https://www.bigw.com.au/toys-for-joy>

M. Clothes Recycling

Textile recyclers are available Australia wide for public and commercial donators including:

- o <https://scrg.com.au>
- o <https://texrecaus.com>
- o <https://upparel.com.au/toesox-australia/>.

Appendix 5 - Equipment

N. Business Recycling Equipment Catalogue

70% or more of general waste placed in commercial Landfill Bins can be recycled or diverted. The quantity and type of waste will vary from business to business. Planet Arc has developed the following catalogue for businesses to access to encourage recycling where possible.

<https://equipment.businessrecycling.com.au>.

Further links and information of commonly used equipment to aid easy waste management is provided below.

Clause 43.01 Incorporated Plan

Healesville Commercial Precinct - February 2015

1.0 Preamble

This document is incorporated into the Yarra Ranges Planning Scheme pursuant to Clause 81.01 as an Incorporated Plan under Clause 43.01 Heritage Overlay.

2.0 Application

This document applies to the Healesville Commercial Precinct HO428 as identified in Figure 1.

3.0 Definitions

The relevant definitions of significant, contributory and non-contributory buildings have been taken from the Healesville Heritage Project (Lovell Chen - Finalised 2015).

Significant

‘Significant’ buildings in the precinct include several prominent and/or particularly important historic buildings in the Healesville commercial context. These buildings, are reasonably externally intact, and are more architecturally distinguished than ‘contributory’ properties. They may also retain a higher degree of original fabric and integrity including unpainted brick and render finishes, original or little-modified shopfronts including original metal- framed or timber-framed glazing, leadlight, vitreous tiling to piers, in-goes and stall-boards, and original or early parapet forms. This grading also includes buildings which are unusual elements in the commercial precinct.

Contributory

‘Contributory’ buildings in the precinct are also comparatively externally intact, albeit typically less architecturally distinguished than ‘significant’ buildings. Over-painting original surfaces or finishes, as well as changing shopfronts and in some cases first floor windows are among the common alterations made to the ‘contributory’ commercial buildings. It is also recognised that changes to ground floor shopfronts is a common occurrence generally with historic commercial buildings.

Non Contributory

‘Non-contributory’ buildings include recent infill development, including post-WWII development of little or no architectural merit or heritage character; earlier buildings which have been significantly modified and where the alterations have diminished the heritage value and character; and some recent ‘faux’ Victorian style shop buildings. These properties are included in the precinct due to their particular

location, which may be sensitive in terms of future precinct management and conservation.

Figure 1: Healesville Commercial Precinct



4.0 Table of Properties in the Healesville Commercial Precinct

Property Address	Level of Significance
209 Nicholson Street	Contributory
211 Nicholson Street	Contributory
213/ 213A Nicholson Street	Non- Contributory
215 Nicholson Street	Non- Contributory
217, 217 A, 217B Nicholson Street	Contributory
219 Nicholson Street	Significant
221 Nicholson Street	Non- Contributory
223 Nicholson Street	Non- Contributory
225 Nicholson Street	Contributory
227- 229 Nicholson Street	Contributory
231 – 237 Nicholson Street	Significant
194 -196 Nicholson Street	Significant
200-202 Nicholson Street	Non- Contributory
204 - 206 Nicholson Street	Significant
208 - 210 Nicholson Street	Non- Contributory
212 Nicholson Street	Contributory
214-220 Nicholson Street	Contributory
222, 224, 226 Nicholson Street	Non- Contributory
228 Nicholson Street	Significant
230 Nicholson Street	Significant
232 -234 Nicholson Street	Contributory
236 Nicholson Street	Non- Contributory
238, 240,240C Nicholson Street	Contributory
242 Nicholson Street	Contributory
244 Nicholson Street	Contributory
246-248 Nicholson Street	Contributory
250 Nicholson Street	Non - Contributory
252 (252A, 252B) Nicholson Street	Non- Contributory
256 Nicholson Street	Significant
258 Nicholson Street	Contributory
260 Nicholson Street	Contributory

Property Address	Level of Significance
262 Nicholson Street (262A)	Contributory
264 Nicholson Street	Contributory
266 Nicholson Street	Contributory
268 Nicholson Street	Contributory
5-7 Green Street	Contributory
270 Nicholson Street	Significant
272 Nicholson Street	Non- Contributory
274 Nicholson Street	Non- Contributory
276-278 Nicholson Street	Non- Contributory
282-284 Nicholson Street	Non- Contributory
286 Nicholson Street	Significant
288 - 292 Nicholson Street	Non- Contributory
294 - 298 Nicholson Street	Significant
300-308 Nicholson Street	Non- Contributory
310 Nicholson Street	Contributory
312 Nicholson Street	Contributory
314 Nicholson Street	Non- Contributory

5.0 Planning Permit Exemptions

This section provides specific exemptions to the requirements of a planning permit under Clause 41.03 Heritage Overlay in Yarra Ranges Planning Scheme. This document does not apply to the requirements of any other provision of the Yarra Ranges Planning Scheme.

A planning permit is not required under Clause 43.01- 2 of the Yarra Ranges Planning Scheme for:

Demolition and Routine Maintenance

1. Demolition of a building or partial demolition of a building shown as non-contributory on the precinct map.
2. Routine maintenance of a non-contributory building that would change the appearance of that building. This does not apply if the repairs or maintenance would result in an extension to the building.
3. Construction or demolition of a side or rear fence on any property in the precinct.

4. External alteration of a non-contributory building by structural work, rendering, painting, sandblasting or in any other way. This does not apply if the alteration would result in an extension.
5. Extension, alterations or works to the rear of any contributory or non – contributory buildings provided the works are not visible from Nicholson Street.
6. Construction of disabled access to a non-contributory building.

Reference: *Healesville Heritage Project (Lovell Chen Finalised 2015)*

BESS Report

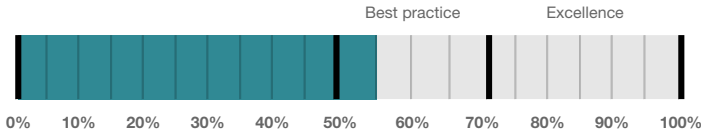
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 272 Maroondah Hwy Healesville VIC 3777. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Yarra Ranges Shire Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



59%

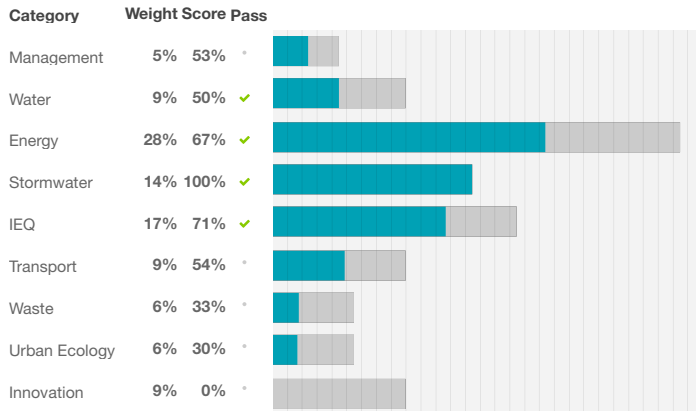
Project details

Address 272 Maroondah Hwy Healesville VIC 3777
Project no FC62D519-R1
BESS Version BESS-6

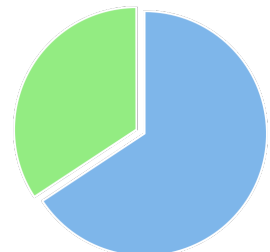
Site type Mixed use development
Account jjim@skart.com.au
Application no.
Site area 487 m²
Building floor area 438.3 m²
Date 07 February 2022
Software version 1.7.0-B.377



Performance by category



Building Type composition



● Apartment ● Shop

Buildings

Name	Height	Footprint	% of total footprint
Main Building	3	212 m ²	100%

Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	Building	% of total area
Apartment				
Apartment 3	1	111 m ²	Main Building	25%
Apartment 1	1	92.2 m ²	Main Building	21%
Apartment 2	1	84.5 m ²	Main Building	19%
Total	3	288 m²	65%	

Non-Res Spaces

Name	Quantity	Area	Building	% of total area
Shop				
GF Shop & GF Bar	1	150 m ²	Main Building	34%
Total	1	150 m²	34%	

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Management 3.1	Individual utility meters annotated	To be printed Refer A02	✓
Management 3.2	Individual utility meters annotated	To be printed Refer A02	✓
Management 3.3	Common area submeters annotated	To be printed Refer A02	✓
Water 3.1	Water efficient garden annotated	To be printed Refer A02	✓
Energy 3.4	Clothes line annotated (if proposed)	To be printed Refer A03 and A04 (apartment laundries)	✓
Energy 4.2	Floor plans showing location of photovoltaic panels as described.	To be printed Refer A05	✓
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)	To be printed Refer A02 & A05	✓
IEQ 1.1	If using BESS daylight calculator, references to floorplans and elevations showing window sizes and sky angles.	To be printed Refer A03 through A11	✓
IEQ 1.2	If using BESS daylight calculator, references to floorplans and elevations showing window sizes and sky angles.	To be printed Refer A03 through A11	✓
IEQ 1.5	Floor plans with compliant bedrooms marked	To be printed Refer A03 and A04	✓

Credit	Requirement	Response	Status
IEQ 2.1	Dwellings meeting the requirements for being 'naturally ventilated'	To be printed Refer A03 and A04	✓
Transport 1.1	All nominated residential bicycle parking spaces	To be printed Refer A02	✓
Transport 1.3	Residential bicycle parking spaces at ground level	To be printed Refer A02	✓
Transport 2.1	Location of electric vehicle charging infrastructure	To be printed Refer A02	✓
Waste 2.2	Location of recycling facilities	To be printed Refer A03 and A04 (apartment kitchens)	✓
Urban Ecology 2.1	Vegetated areas	To be printed Refer A02 and A03	✓
Urban Ecology 2.2	Green roof	To be printed Refer A03	✓
Urban Ecology 2.4	Taps and floor waste on balconies / courtyards	To be printed Refer A03 & A04	✓

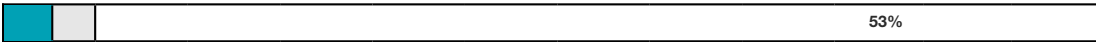
Supporting evidence

Credit	Requirement	Response	Status
Management 2.2	Preliminary NatHERS assessments	Uploaded 272Maroondah_Prelim FirstRate.pdf Preliminary FirstRate reports for 3x apartments https://bess.net.au/t/A332B315	✓
Energy 1.1	Energy Report showing calculations of reference case and proposed buildings	Uploaded 272Maroondah_Prelim NonRes Facade Calculator.pdf Refer also 272Maroondah_Supporting Evidence https://bess.net.au/t/12757EF5	✓
Energy 3.6	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 1 https://bess.net.au/t/F62D6BDE	✓
Energy 3.7	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 1 https://bess.net.au/t/F62D6BDE	✓
Energy 4.2	Specifications of the solar photovoltaic system(s).	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 1 https://bess.net.au/t/F62D6BDE	✓
Stormwater 1.1	STORM report or MUSIC model	Uploaded 272Maroondah_StormRatingReport.pdf Storm Report https://bess.net.au/t/F76C88D5	✓
IEQ 1.1	If using an alternative daylight modelling program, a short report detailing assumptions used and results achieved.	Uploaded 272Maroondah_Supporting Evidence.pdf Using BESS Calculator https://bess.net.au/t/F62D6BDE	✓

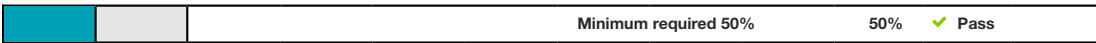



Credit	Requirement	Response	Status
IEQ 1.2	If using an alternative daylight modelling program, a short report detailing assumptions used and results achieved.	Uploaded 272Maroondah_Supporting Evidence.pdf Using BESS Calculator https://bess.net.au/t/F62D6BDE	✓
IEQ 1.4	A short report detailing assumptions used and results achieved.	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 2 https://bess.net.au/t/F62D6BDE	✓
IEQ 1.5	A list of compliant bedrooms	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 2 https://bess.net.au/t/F62D6BDE	✓
IEQ 2.1	A list of naturally ventilated dwellings	Uploaded 272Maroondah_Supporting Evidence.pdf Refer page 2 https://bess.net.au/t/F62D6BDE	✓

Credit summary

Management Overall contribution 4.5%

	53%
1.1 Pre-Application Meeting	0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	100%
2.3 Thermal Performance Modelling - Non-Residential	0%
3.1 Metering	100%
3.2 Metering	100%
3.3 Metering	100%
4.1 Building Users Guide	100%

Water Overall contribution 9.0%

	Minimum required 50%	50%	✓ Pass
1.1 Potable water use reduction		40%	
3.1 Water Efficient Landscaping		100%	
4.1 Building Systems Water Use Reduction		N/A	✦ Scoped Out
No chillers or testing fire systems proposed.			

Energy Overall contribution 27.5%

		Minimum required 50%	67%	✔ Pass
1.1 Thermal Performance Rating - Non-Residential			37%	
1.2 Thermal Performance Rating - Residential			50%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			34%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			N/A	✦ Scoped Out
No gas connection in use				
3.1 Carpark Ventilation			N/A	✦ Scoped Out
Carpark not enclosed.				
3.2 Hot Water			100%	
3.4 Clothes Drying			100%	
3.6 Internal Lighting - Residential Multiple Dwellings			100%	
3.7 Internal Lighting - Non-Residential			100%	
4.1 Combined Heat and Power (cogeneration / trigeneration)			N/A	✦ Scoped Out
No cogeneration or trigeneration system in use.				
4.2 Renewable Energy Systems - Solar			65%	
4.4 Renewable Energy Systems - Other			N/A	⊘ Disabled
No other (non-solar PV) renewable energy is in use.				

Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✔ Pass
1.1 Stormwater Treatment			100%	

IEQ Overall contribution 16.5%

		Minimum required 50%	71%	✓ Pass
1.1 Daylight Access - Living Areas			100%	
1.2 Daylight Access - Bedrooms			100%	
1.3 Winter Sunlight			0%	
1.4 Daylight Access - Non-Residential			44%	✓ Achieved
1.5 Daylight Access - Minimal Internal Bedrooms			100%	
2.1 Effective Natural Ventilation			100%	
2.3 Ventilation - Non-Residential			33%	✓ Achieved
3.4 Thermal comfort - Shading - Non-residential			100%	
3.5 Thermal Comfort - Ceiling Fans - Non-Residential			0%	
4.1 Air Quality - Non-Residential			66%	

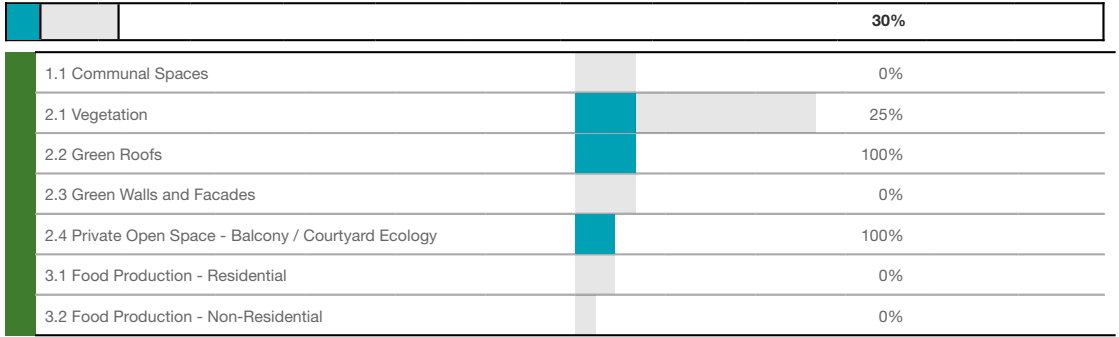
Transport Overall contribution 9.0%

			54%	
1.1 Bicycle Parking - Residential			100%	
1.2 Bicycle Parking - Residential Visitor			N/A	✦ Scoped Out Not enough dwellings.
1.3 Bicycle Parking - Convenience Residential			100%	
1.4 Bicycle Parking - Non-Residential			0%	
1.5 Bicycle Parking - Non-Residential Visitor			0%	
1.6 End of Trip Facilities - Non-Residential			N/A	⊘ Disabled Credit 1.4 must be complete first.
2.1 Electric Vehicle Infrastructure			100%	
2.2 Car Share Scheme			0%	
2.3 Motorbikes / Mopeds			0%	

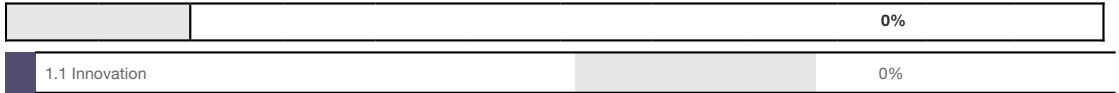
Waste Overall contribution 5.5%

			33%	
1.1 - Construction Waste - Building Re-Use			0%	
2.1 - Operational Waste - Food & Garden Waste			0%	
2.2 - Operational Waste - Convenience of Recycling			100%	

Urban Ecology Overall contribution 5.5%



Innovation Overall contribution 9.0%



Credit breakdown

Management Overall contribution 2%


1.1 Pre-Application Meeting		0%
Score Contribution	This credit contributes 37.5% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		100%
Score Contribution	This credit contributes 16.4% towards the category score.	
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?	
Question	Criteria Achieved ?	
Apartment	Yes	
2.3 Thermal Performance Modelling - Non-Residential		0%
Score Contribution	This credit contributes 8.6% towards the category score.	
Criteria	Has preliminary modelling been undertaken in accordance with either NCC2019 Section J (Energy Efficiency), NABERS or Green Star?	
Criteria	Has a preliminary facade assessment been undertaken in accordance with NCC2019 Section J1.5?	
Question	Criteria Achieved ?	
Shop	No	
Criteria	Has preliminary modelling been undertaken in accordance with either NCC2019 Section J (Energy Efficiency), NABERS or Green Star?	
Question	Criteria Achieved ?	
Shop	No	
3.1 Metering		100%
Score Contribution	This credit contributes 8.2% towards the category score.	
Criteria	Have utility meters been provided for all individual dwellings?	
Question	Criteria Achieved ?	
Apartment	Yes	
3.2 Metering		100%
Score Contribution	This credit contributes 4.3% towards the category score.	
Criteria	Have utility meters been provided for all individual commercial tenants?	
Question	Criteria Achieved ?	
Shop	Yes	

3.3 Metering		100%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Have all major common area services been separately submetered?	
Question	Criteria Achieved ?	
Apartment	Yes	
Shop	Yes	

4.1 Building Users Guide		100%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	Yes	

Water Overall contribution 4% Minimum required 50%

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Water fixtures, fittings and connections	
Building: All	Main Building
Showerhead:	
Apartment 1	3 Star WELS (>= 7.5 but <= 9.0) (minimum requirement)
Apartment 2	
Apartment 3	
GF Shop & GF Bar	Scope out
Bath:	
Apartment 1	Medium Sized Contemporary Bath
Apartment 2	
Apartment 3	
GF Shop & GF Bar	Scope out
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers:	
Apartment 1	>= 4 Star WELS rating
Apartment 2	
Apartment 3	
GF Shop & GF Bar	Scope out
WC: All	>= 3 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency:	
Apartment 1	Occupant to Install
Apartment 2	
Apartment 3	
GF Shop & GF Bar	Scope out
Which non-potable water source is the dwelling/space connected to?: All	Underground tanks below carpark
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater Tank	
What is the total roof area connected to the rainwater tank?:	145 m ²
Underground tanks below carpark	
Tank Size: Underground tanks below carpark	16,500 Litres



Irrigation area connected to tank:	Underground tanks below carpark	0.0 m ²
Is connected irrigation area a water efficient garden?:	Underground tanks below carpark	No
Other external water demand connected to tank?:	Underground tanks below carpark	0.0 Litres/Day
1.1 Potable water use reduction		40%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.	
Output	Reference	
Project	678 kL	
Output	Proposed (excluding rainwater and recycled water use)	
Project	579 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	473 kL	
Output	% Reduction in Potable Water Consumption	
Project	30 %	
Output	% of connected demand met by rainwater	
Project	100 %	
Output	How often does the tank overflow?	
Project	Never / Rarely	
Output	Opportunity for additional rainwater connection	
Project	212 kL	
3.1 Water Efficient Landscaping		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	
4.1 Building Systems Water Use Reduction		N/A  Scoped Out
This credit was scoped out	No chillers or testing fire systems proposed.	

Energy Overall contribution 18% Minimum required 50%

Use the BESS Deem to Satisfy (DtS) method for Energy?:	Yes
Do all exposed floors and ceilings (forming part of the envelope) demonstrate a minimum 10% improvement in required NCC2019 insulation levels (total R-value upwards and downwards)?:	Yes
Does all wall and glazing demonstrate meeting the required NCC2019 facade calculator (or better than the total allowance)?:	Yes
Are heating and cooling systems within one Star of the most efficient equivalent capacity unit available, or Coefficient of Performance (CoP) & Energy Efficiency Ratios (EER) not less than 85% of the CoP & EER of the most efficient equivalent capacity unit available?:	Yes
Are water heating systems within one star of the best available, or 85% or better than the most efficient equivalent capacity unit?:	Yes
Dwellings Energy Approach	
What approach do you want to use for Energy?:	Use the built in calculation tools
Project Energy Profile Question	
Are you installing any solar photovoltaic (PV) system(s)?:	Yes
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	No gas connection
Dwelling Energy Profiles	
Building: All	Main Building
Below the floor is: All	Another Occupancy
Above the ceiling is:	
Apartment 1	Another Occupancy
Apartment 2	Outside
Apartment 3	
Exposed sides: All	4
NatHERS Annual Energy Loads - Heat: All	100 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	14.0 MJ/sqm
NatHERS star rating:	
Apartment 1	7.4
Apartment 2	7.3
Apartment 3	6.7
Type of Heating System: All	D Reverse cycle space
Heating System Efficiency: All	5 Star
Type of Cooling System: All	Refrigerative space
Cooling System Efficiency: All	5 Stars
Type of Hot Water System: All	C Electric Heat Pump
% Contribution from solar hot water system: All	0 %
Is the hot water system shared by multiple dwellings?:	No
Clothes Line: All	Permanent indoor in dwelling with 4 metres/bedroom

Clothes Dryer: All	Occupant to Install
Non-Residential Building Energy Profile	
Heating, Cooling & Comfort Ventilation - Electricity - reference fabric and reference services:	-
Heating, Cooling & Comfort Ventilation - Electricity - proposed fabric and reference services:	-
Heating, Cooling & Comfort Ventilation - Electricity - proposed fabric and proposed services:	-
Heating - Wood - reference fabric and reference services:	-
Heating - Wood - proposed fabric and reference services:	-
Heating - Wood - proposed fabric and proposed services:	-
Hot Water - Electricity - Baseline:	-
Hot Water - Electricity - Proposed:	-
Lighting - Baseline:	-
Lighting - Proposed:	-
Peak Thermal Cooling Load - Baseline:	-
Peak Thermal Cooling Load - Proposed:	-
Solar Photovoltaic system	
System Size (lesser of inverter and panel capacity): Rooftop PV	8.0 kW peak
Orientation (which way is the system facing)?: Rooftop PV	North
Inclination (angle from horizontal): Rooftop PV	18.0 Angle (degrees)
Which Building Class does this apply to?: Rooftop PV	Apartment
1.1 Thermal Performance Rating - Non-Residential 37%	
Score Contribution	This credit contributes 15.8% towards the category score.
Criteria	What is the % reduction in heating and cooling energy consumption against the reference case (NCC 2019 Section J)?
1.2 Thermal Performance Rating - Residential 50%	
Score Contribution	This credit contributes 22.7% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Apartment	7.1 Stars
2.1 Greenhouse Gas Emissions 100%	
Score Contribution	This credit contributes 11.5% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Apartment	31,119 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Apartment	6,935 kg CO2
Output	% Reduction in GHG Emissions
Apartment	77 %

2.2 Peak Demand		34%
Score Contribution	This credit contributes 5.8% towards the category score.	
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?	
Output	Peak Thermal Cooling Load - Baseline	
Apartment	36.6 kW	
Output	Peak Thermal Cooling Load - Proposed	
Apartment	33.6 kW	
Output	Peak Thermal Cooling Load - % Reduction	
Apartment	8 %	
2.3 Electricity Consumption		100%
Score Contribution	This credit contributes 11.5% towards the category score.	
Criteria	What is the % reduction in annual electricity consumption against the benchmark?	
Output	Reference	
Apartment	30,509 kWh	
Output	Proposed	
Apartment	6,799 kWh	
Output	Improvement	
Apartment	77 %	
2.4 Gas Consumption		N/A  Scoped Out
This credit was scoped out	No gas connection in use	
3.1 Carpark Ventilation		N/A  Scoped Out
This credit was scoped out	Carpark not enclosed.	
3.2 Hot Water		100%
Score Contribution	This credit contributes 5.8% towards the category score.	
Criteria	What is the % reduction in annual hot water system energy use (gas and electricity) against the benchmark?	
Output	Reference	
Apartment	10,062 kWh	
Output	Proposed	
Apartment	3,123 kWh	
Output	Improvement	
Apartment	68 %	

3.4 Clothes Drying		100%
Score Contribution	This credit contributes 3.8% towards the category score.	
Criteria	Does the combination of clothes lines and efficient dryers reduce energy (gas+electricity) consumption by more than 10%?	
Output	Reference	
Apartment	1,624 kWh	
Output	Proposed	
Apartment	650 kWh	
Output	Improvement	
Apartment	60 %	
3.6 Internal Lighting - Residential Multiple Dwellings		100%
Score Contribution	This credit contributes 7.6% towards the category score.	
Criteria	Is the maximum illumination power density (W/m2) in at least 90% of the relevant building class at least 20% lower than required by Table J6.2a of the NCC 2019 Vol 1 (Class 2-9) and Clause 3.12.5.5 NCC 2019 Vol 2 (Class 1 & 10)?	
Question	Criteria Achieved ?	
Apartment	Yes	
3.7 Internal Lighting - Non-Residential		100%
Score Contribution	This credit contributes 3.9% towards the category score.	
Criteria	Does the maximum illumination power density (W/m2) in at least 90% of the area of the relevant building class meet the requirements in Table J6.2a of the NCC 2019 Vol 1?	
Question	Criteria Achieved ?	
Shop	Yes	
4.1 Combined Heat and Power (cogeneration / trigeneration)		N/A  Scoped Out
This credit was scoped out	No cogeneration or trigeneration system in use.	
4.2 Renewable Energy Systems - Solar		65%
Score Contribution	This credit contributes 5.8% towards the category score.	
Criteria	Does the solar power system provide 5% of the estimated energy consumption of the building class it supplies?	
Output	Solar Power - Energy Generation per year	
Apartment	10,112 kWh	
Output	% of Building's Energy	
Apartment	148 %	
4.4 Renewable Energy Systems - Other		N/A  Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	

Stormwater Overall contribution 14% Minimum required 100%

Which stormwater modelling are you using?:		Melbourne Water STORM tool
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	102	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 12% Minimum required 50%

IEQ DTS

Use the BESS Deemed to Satisfy (DtS) method for IEQ?: No

Dwellings IEQ Approach

What approach do you want to use for dwellings?: Use the built in calculation tools

Dwelling Daylight Room Profile Questions

Room Designation:

Kitchen Living Apt1 Living
 Kitchen Living Apt3
 Kitchen Living Apt2

Bed 2 Apt1 Bedroom
 Bed 1 Apt1
 Bed 2 Apt2
 Bed 1 Apt2
 Bed 1 Apt3
 Bed 2 Apt3

Quantity: All 1

Auto-Pass:

Kitchen Living Apt1 Yes
 Bed 1 Apt1
 Kitchen Living Apt2
 Bed 1 Apt2
 Bed 2 Apt3

Bed 2 Apt1 No
 Kitchen Living Apt3
 Bed 2 Apt2
 Bed 1 Apt3

Room Floor Area:

Kitchen Living Apt1 -
 Bed 1 Apt1
 Kitchen Living Apt2
 Bed 1 Apt2
 Bed 2 Apt3
 Bed 2 Apt1 9.7 m²
 Bed 2 Apt2
 Kitchen Living Apt3 33.6 m²
 Bed 1 Apt3 12.3 m²

Vertical Angle:



Kitchen Living Apt1 -
 Bed 1 Apt1
 Kitchen Living Apt2
 Bed 1 Apt2
 Bed 2 Apt3
 Bed 2 Apt1 43.2 Angle (degrees)
 Kitchen Living Apt3 40.0 Angle (degrees)
 Bed 2 Apt2 70.2 Angle (degrees)
 Bed 1 Apt3 66.8 Angle (degrees)

Horizontal Angle:	
Kitchen Living Apt1 Bed 1 Apt1	-
Kitchen Living Apt2 Bed 1 Apt2 Bed 2 Apt3	
Bed 2 Apt1 Bed 2 Apt2	65.5 Angle (degrees)
Kitchen Living Apt3 Bed 1 Apt3	62.0 Angle (degrees)
Window Area:	
Kitchen Living Apt1 Bed 1 Apt1	-
Kitchen Living Apt2 Bed 1 Apt2 Bed 2 Apt3	
Bed 2 Apt1 Bed 1 Apt3	2.9 m ²
Kitchen Living Apt3	8.3 m ²
Bed 2 Apt2	1.5 m ²
Window Orientation:	
Kitchen Living Apt1 Bed 1 Apt1	-
Kitchen Living Apt2 Bed 1 Apt2 Bed 2 Apt3	
Bed 2 Apt1 Bed 2 Apt2	South
Kitchen Living Apt3 Bed 1 Apt3	North
Glass Type:	
Kitchen Living Apt1 Bed 1 Apt1	-
Kitchen Living Apt2 Bed 1 Apt2 Bed 2 Apt3	
Bed 2 Apt1 Kitchen Living Apt3 Bed 2 Apt2 Bed 1 Apt3	Clear Low-E Double (VLT 0.73)
Daylight Criteria Achieved?: All	Yes
1.1 Daylight Access - Living Areas	100%
Score Contribution	This credit contributes 14.4% towards the category score.
Criteria	What % of living areas achieve a daylight factor greater than 1%
Output	Calculated percentage
Apartment	100 %

1.2 Daylight Access - Bedrooms	100%
Score Contribution	This credit contributes 14.4% towards the category score.
Criteria	What % of bedrooms achieve a daylight factor greater than 0.5%
Output	Calculated percentage
Apartment	100 %
1.3 Winter Sunlight	0%
Score Contribution	This credit contributes 4.8% towards the category score.
Criteria	Do 70% of dwellings receive at least 3 hours of direct sunlight in all Living areas between 9am and 3pm in mid-winter?
Question	Criteria Achieved ?
Apartment	No
1.4 Daylight Access - Non-Residential	44% ✔ Achieved
Score Contribution	This credit contributes 15.0% towards the category score.
Criteria	What % of the nominated floor area has at least 2% daylight factor?
Question	Percentage Achieved?
Shop	44 %
1.5 Daylight Access - Minimal Internal Bedrooms	100%
Score Contribution	This credit contributes 4.8% towards the category score.
Criteria	Do at least 90% of dwellings have an external window in all bedrooms?
Question	Criteria Achieved ?
Apartment	Yes
2.1 Effective Natural Ventilation	100%
Score Contribution	This credit contributes 14.4% towards the category score.
Criteria	What % of dwellings are effectively naturally ventilated?
Question	Percentage Achieved?
Apartment	100 %
2.3 Ventilation - Non-Residential	33% ✔ Achieved
Score Contribution	This credit contributes 15.0% towards the category score.
Criteria	What % of the regular use areas are effectively naturally ventilated?
Question	Percentage Achieved?
Shop	0 %
Criteria	What increase in outdoor air is available to regular use areas compared to the minimum required by AS 1668:2012?
Question	Percentage Achieved?
Shop	50 %
Criteria	What CO2 concentrations are the ventilation systems designed to achieve, to monitor and to maintain?
Question	Value
Shop	-

3.4 Thermal comfort - Shading - Non-residential		100%
Score Contribution	This credit contributes 7.5% towards the category score.	
Criteria	What percentage of east, north and west glazing to regular use areas is effectively shaded?	
Question	Percentage Achieved?	
Shop	100 %	
3.5 Thermal Comfort - Ceiling Fans - Non-Residential		0%
Score Contribution	This credit contributes 2.5% towards the category score.	
Criteria	What percentage of regular use areas in tenancies have ceiling fans?	
Annotation	Cold shell - by tenant	
Question	Percentage Achieved?	
Shop	0 %	
4.1 Air Quality - Non-Residential		66%
Score Contribution	This credit contributes 7.3% towards the category score.	
Criteria	Do all paints and adhesives meet the maximum total indoor pollutant emission limits?	
Question	Criteria Achieved ?	
Project	No	
Criteria	Does all carpet meet the maximum total indoor pollutant emission limits?	
Question	Criteria Achieved ?	
Project	No carpet	
Criteria	Does all engineered wood meet the maximum total indoor pollutant emission limits?	
Question	Criteria Achieved ?	
Project	No engineered wood	

Transport Overall contribution 5%

1.1 Bicycle Parking - Residential		100%
Score Contribution	This credit contributes 17.9% towards the category score.	
Criteria	Is there at least one secure bicycle space per dwelling?	
Question	Bicycle Spaces Provided ?	
Apartment	3	
Output	Min Bicycle Spaces Required	
Apartment	3	
1.2 Bicycle Parking - Residential Visitor		N/A  Scoped Out
This credit was scoped out	Not enough dwellings.	
1.3 Bicycle Parking - Convenience Residential		100%
Score Contribution	This credit contributes 9.0% towards the category score.	
Criteria	Are bike parking facilities for residents located at ground level?	
Question	Criteria Achieved ?	
Apartment	Yes	
1.4 Bicycle Parking - Non-Residential		0%
Score Contribution	This credit contributes 9.3% towards the category score.	
Criteria	Have the planning scheme requirements for employee bicycle parking been exceeded by at least 50% (or a minimum of 2 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Shop	No	
Question	Bicycle Spaces Provided ?	
Shop	-	
1.5 Bicycle Parking - Non-Residential Visitor		0%
Score Contribution	This credit contributes 4.7% towards the category score.	
Criteria	Have the planning scheme requirements for visitor bicycle parking been exceeded by at least 50% (or a minimum of 1 where there is no planning scheme requirement)?	
Question	Criteria Achieved ?	
Shop	No	
Question	Bicycle Spaces Provided ?	
Shop	-	
1.6 End of Trip Facilities - Non-Residential		N/A  Disabled
This credit is disabled	Credit 1.4 must be complete first.	
2.1 Electric Vehicle Infrastructure		100%
Score Contribution	This credit contributes 27.2% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	Yes	

2.2 Car Share Scheme		0%
Score Contribution	This credit contributes 13.6% towards the category score.	
Criteria	Has a formal car sharing scheme been integrated into the development?	
Question	Criteria Achieved ?	
Project	No	
2.3 Motorbikes / Mopeds		0%
Score Contribution	This credit contributes 13.6% towards the category score.	
Criteria	Are a minimum of 5% of vehicle parking spaces designed and labelled for motorbikes (must be at least 5 motorbike spaces)?	
Question	Criteria Achieved ?	
Project	No	

Waste Overall contribution 2%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	
2.2 - Operational Waste - Convenience of Recycling		100%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Are the recycling facilities at least as convenient for occupants as facilities for general waste?	
Question	Criteria Achieved ?	
Project	Yes	

Urban Ecology Overall contribution 2%

1.1 Communal Spaces		0%
Score Contribution	This credit contributes 11.6% towards the category score.	
Criteria	Is there at least the following amount of common space measured in square meters : * 1m ² for each of the first 50 occupants * Additional 0.5m ² for each occupant between 51 and 250 * Additional 0.25m ² for each occupant above 251?	
Question	Common space provided	
Apartment	0.0 m ²	
Shop	0.0 m ²	
Output	Minimum Common Space Required	
Apartment	6 m ²	
Shop	15 m ²	
2.1 Vegetation		25%
Score Contribution	This credit contributes 46.2% towards the category score.	
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?	
Question	Percentage Achieved ?	
Project	5 %	
2.2 Green Roofs		100%
Score Contribution	This credit contributes 11.6% towards the category score.	
Criteria	Does the development incorporate a green roof?	
Question	Criteria Achieved ?	
Project	Yes	
2.3 Green Walls and Facades		0%
Score Contribution	This credit contributes 11.6% towards the category score.	
Criteria	Does the development incorporate a green wall or facade?	
Question	Criteria Achieved ?	
Project	No	
2.4 Private Open Space - Balcony / Courtyard Ecology		100%
Score Contribution	This credit contributes 7.6% towards the category score.	
Criteria	Is there a tap and floor waste on every balcony / in every courtyard?	
Question	Criteria Achieved ?	
Apartment	Yes	

3.1 Food Production - Residential	0%
Score Contribution	This credit contributes 7.6% towards the category score.
Criteria	Is there at least 0.25m ² of space per resident dedicated to food production?
Question	Food Production Area
Apartment	0.0 m ²
Output	Min Food Production Area
Apartment	2 m ²

3.2 Food Production - Non-Residential	0%
Score Contribution	This credit contributes 4.0% towards the category score.
Criteria	Is there at least 0.25m ² of space per occupant dedicated to food production?
Question	Food Production Area
Shop	0.0 m ²
Output	Min Food Production Area
Shop	4 m ²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

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